

This document is received on 18 MAY 2026
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

- # "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人
 - & Please attach documentary proof 請夾附證明文件
 - ^ Please insert number where appropriate 請在適當地方註明編號
- Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」
- Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明
- Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2601150

13/5

By Hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/N6-7KL/840
	Date Received 收到日期	18 MAY 2026

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件(倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載(網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線: 2231 5000)(香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Able New Development Limited 力新發展有限公司

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

R-riches Planning Limited 盈卓規劃有限公司

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	Lots 1161 S.B RP (Part) and 1162 (Part) in D.D. 82, Ta Kwu Ling, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	☒ Site area 地盤面積 4,177 sq.m 平方米 ☐ About 約 ☒ Gross floor area 總樓面面積 216 sq.m 平方米 ☐ About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有)	 N/A sq.m 平方米 ☐ About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Ping Che and Ta Kwu Ling OZP No.: S/NE-TKL/14
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture" Zone
(f) Current use(s) 現時用途	Open Storage of Construction Material and Machinery (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☒ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)^{#&}
於_____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☒ posted notice in a prominent position on or near application site/premises on
06/03/2026 - 20/03/2026 (DD/MM/YYYY)[&]
於_____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 15/04/2026 (DD/MM/YYYY)[&]
於_____ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別**(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development
擬議用途/發展

Temporary Open Storage of Construction Material and Machinery with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for
申請的許可有效期☒ year(s) 年 3☐ month(s) 個月**(c) Development Schedule 發展細節表**Proposed uncovered land area 擬議露天土地面積 3,961sq.m ☒ About 約Proposed covered land area 擬議有上蓋土地面積 216sq.m ☒ About 約

Proposed number of buildings/structures 擬議建築物/構築物數目 1

Proposed domestic floor area 擬議住用樓面面積 N/Asq.m ☐ About 約Proposed non-domestic floor area 擬議非住用樓面面積 216sq.m ☒ About 約Proposed gross floor area 擬議總樓面面積 216sq.m ☒ About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY, SITE OFFICE AND WASHROOM	216 m ² (ABOUT)	216 m ² (ABOUT)	5 m (ABOUT)(1-STOREY)
TOTAL		216 m ² (ABOUT)	216 m ² (ABOUT)	

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位

2

Motorcycle Parking Spaces 電單車車位

N/A

Light Goods Vehicle Parking Spaces 輕型貨車泊車位

N/A

Medium Goods Vehicle Parking Spaces 中型貨車泊車位

N/A

Heavy Goods Vehicle Parking Spaces 重型貨車泊車位

N/A

Others (Please Specify) 其他 (請列明)

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位

N/A

Coach Spaces 旅遊巴車位

N/A

Light Goods Vehicle Spaces 輕型貨車車位

N/A

Medium Goods Vehicle Spaces 中型貨車車位

1

Heavy Goods Vehicle Spaces 重型貨車車位

N/A

Others (Please Specify) 其他 (請列明)

Proposed operating hours 擬議營運時間 Mondays to Saturdays from 09:00 to 19:00. No operation on Sundays and public holidays.																																	
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤/ 有關建築物?	Yes 是	☒ There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Accessible from Ping Che Road via a local access.																															
	No 否	☐ There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度) ☐																															
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話, 請另頁註明可盡量減少可能出現不良影響的措施, 否則請提供理據/理由。)																																	
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是	☐ Please provide details 請提供詳情																															
	No 否	☒																															
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	Yes 是	☒ (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍) ☐ Diversion of stream 河道改道 ☐ Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 ☐ About 約 Depth of filling 填塘深度 m 米 ☐ About 約 ☒ Filling of land 填土 Area of filling 填土面積 4,177 sq.m 平方米 ☒ About 約 Depth of filling 填土厚度 not more than 0.2 m 米 ☐ About 約 ☐ Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 ☐ About 約 Depth of excavation 挖土深度 m 米 ☐ About 約																															
	No 否	☐																															
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> </table>			On environment 對環境	Yes 會 ☐	No 不會 ☒	On traffic 對交通	Yes 會 ☐	No 不會 ☒	On water supply 對供水	Yes 會 ☐	No 不會 ☒	On drainage 對排水	Yes 會 ☐	No 不會 ☒	On slopes 對斜坡	Yes 會 ☐	No 不會 ☒	Affected by slopes 受斜坡影響	Yes 會 ☐	No 不會 ☒	Landscape Impact 構成景觀影響	Yes 會 ☐	No 不會 ☒	Tree Felling 砍伐樹木	Yes 會 ☐	No 不會 ☒	Visual Impact 構成視覺影響	Yes 會 ☐	No 不會 ☒	Others (Please Specify) 其他 (請列明)	Yes 會 ☐	No 不會 ☒
On environment 對環境	Yes 會 ☐	No 不會 ☒																															
On traffic 對交通	Yes 會 ☐	No 不會 ☒																															
On water supply 對供水	Yes 會 ☐	No 不會 ☒																															
On drainage 對排水	Yes 會 ☐	No 不會 ☒																															
On slopes 對斜坡	Yes 會 ☐	No 不會 ☒																															
Affected by slopes 受斜坡影響	Yes 會 ☐	No 不會 ☒																															
Landscape Impact 構成景觀影響	Yes 會 ☐	No 不會 ☒																															
Tree Felling 砍伐樹木	Yes 會 ☐	No 不會 ☒																															
Visual Impact 構成視覺影響	Yes 會 ☐	No 不會 ☒																															
Others (Please Specify) 其他 (請列明)	Yes 會 ☐	No 不會 ☒																															

	Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)
--	--

(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas
位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	☐ The permission does not have any approval condition 許可並沒有任何附帶條件 ☐ Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 ☐ Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： Reason(s) for non-compliance: 仍未履行的原因： (Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)
(f) Renewal period sought 要求的續期期間	☐ year(s) 年 ☐ month(s) 個月

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the supplementary statement.

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Michael WONG
Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

R-riches Planning Limited 盈卓規劃有限公司

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

21/04/2026

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lots 1161 S.B RP (Part) and 1162 (Part) in D.D. 82, Ta Kwu Ling, New Territories
Site area 地盤面積	4,177 sq. m 平方米 ☒ About 約 (includes Government land of 包括政府土地 N/A sq. m 平方米 ☐ About 約)
Plan 圖則	Approved Ping Che and Ta Kwu Ling OZP No.: S/NE-TKL/14
Zoning 地帶	"Agriculture" Zone
Type of Application 申請類別	☒ Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 ☒ Year(s) 年 3 ☐ Month(s) 月 _____ ☐ Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 ☐ Year(s) 年 _____ ☐ Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Open Storage of Construction Material and Machinery with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A ☐ About 約 ☐ Not more than 不多於	N/A ☐ About 約 ☐ Not more than 不多於
	Non-domestic 非住用	216 ☒ About 約 ☐ Not more than 不多於	0.05 ☒ About 約 ☐ Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	1	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	N/A ☐ (Not more than 不多於) m 米	
		N/A ☐ (Not more than 不多於) Storeys(s) 層	
	Non-domestic 非住用	5 (about) ☐ (Not more than 不多於) m 米	
		1 ☐ (Not more than 不多於) Storeys(s) 層	
(iv) Site coverage 上蓋面積	5 % ☒ About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		2
	Private Car Parking Spaces 私家車車位		2
	Motorcycle Parking Spaces 電單車車位		N/A
	Light Goods Vehicle Parking Spaces 輕型貨車泊車位		N/A
	Medium Goods Vehicle Parking Spaces 中型貨車泊車位		N/A
	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位		N/A
	Others (Please Specify) 其他 (請列明)		
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		1
	Taxi Spaces 的士車位		N/A
	Coach Spaces 旅遊巴車位		N/A
	Light Goods Vehicle Spaces 輕型貨車車位		N/A
	Medium Goods Vehicle Spaces 中型貨車車位		1
	Heavy Goods Vehicle Spaces 重型貨車車位		N/A
	Others (Please Specify) 其他 (請列明)		

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	☐	☒
Block plan(s) 樓宇位置圖	☐	☐
Floor plan(s) 樓宇平面圖	☐	☐
Sectional plan(s) 截視圖	☐	☐
Elevation(s) 立視圖	☐	☐
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	☐	☐
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	☐	☐
Others (please specify) 其他 (請註明)	☐	☒
Location plan; Zoning plan; Land status plan; Plan showing the application site under TPB PG No. 13G; Land filling plan; Swept path analysis; Comparison table between the current application and the previous application; FSIs proposal; Accepted drainage proposal under the previous application No. A/NE-TKL/763		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	☐	☒
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	☐	☐
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	☐	☐
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	☐	☐
Visual impact assessment 視覺影響評估	☐	☐
Landscape impact assessment 景觀影響評估	☐	☐
Tree Survey 樹木調查	☐	☐
Geotechnical impact assessment 土力影響評估	☐	☐
Drainage impact assessment 排水影響評估	☐	☐
Sewerage impact assessment 排污影響評估	☐	☐
Risk Assessment 風險評估	☐	☐
Others (please specify) 其他 (請註明)	☐	☐
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

Supplementary Statement

1) Background

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use *Lots 1161 S.B RP (Part) and 1162 (Part) in D.D. 82, Ta Kwu Ling, New Territories* (the Site) for **'Temporary Open Storage of Construction Material and Machinery with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years'** (the development) (**Plan 1**).
- 1.2 In view of the pressing demand for outdoor storage space in New Territories in recent years, the applicant would like to continue to use the Site for storage of construction material (i.e. scaffold, bricks, tiles, column, screws etc.) and machinery (i.e. tamping rammer, generator, elevated platform etc.) to support the local warehousing and storage industry.

2) Planning Context

- 2.1 The Site currently falls within an area zoned as "Agriculture" ("AGR") on the Approved Ping Che and Ta Kwu Ling Outline Zoning Plan (OZP) No.: S/NE-TKL/14 (**Plan 2**). According to the Notes of the OZP, 'open storage' is neither a column one nor a column two use within the "AGR" zone. Thus, planning permission is required from the Board.
- 2.2 The development with a low-rise structure is considered not incompatible with the surrounding areas, which are dominated by sites occupied by temporary structures for warehouses, open storage yards, paved vacant land, etc.. Although the Site falls within "AGR" zone, the Site is currently occupied with the applied use with no active agricultural activities. The Site also falls within Category 2 area under the Town Planning Board Guidelines No. 13G, which is considered suitable for open storage and port back-up uses (**Plan 4**). Therefore, approval of the current application on a temporary basis of 3 years would better utilise precious land resources and would not frustrate the long-term planning intention of the "AGR" zone.
- 2.3 Furthermore, various similar S.16 planning applications for 'open storage' use were also approved by the Board within the same "AGR" zone, which the latest application (No. A/NE-TKL/807) was approved by the Board on a temporary basis for 3 years in 2025. Therefore, approval of the current application would not set an undesirable precedent within the same "AGR" zone.

- 2.4 The Site is the subject of a previous S.16 planning application for the same 'open storage' use (No. A/NE-TKL/763), which is submitted by the same applicant for the same use as the current application. The application was approved by the Board in 2024. Therefore, approval of the current application is in line with the Board's previous decision.
- 2.5 Comparing with the previous application (No. A/NE-TKL/763), the Site area is reduced, while other development parameters, including layout, plot ratio (PR), gross floor area (GFA), site coverage, etc. are also revised to meet the operational need. Details of the differences between the latest application (Nos. A/NE-TKL/763) and the current submission are shown at **Appendix I**.
- 2.6 The applicant has made effort to comply with approval conditions of the previous application, details are shown at **Table 1** below:

Table 1 - Details of Compliance with Approval Condition of the Previous Application

Approval Conditions of Application No. A/NE-TKL/763		Date of Compliance
(a)	The submission of a drainage proposal	17.03.2025
(b)	The provision of drainage facilities	Not complied with
(d)	The provision of fire extinguisher(s)	30.10.2024
(e)	The submission of a fire service installations (FSIs) proposal	20.12.2024
(f)	The implementation of the FSIs proposal	Not complied with
(g)	The implementation of the traffic management measures	Not complied with

- 2.7 During the approval period of the latest application (No. A/NE-TKL/763), the applicant has made effort in complying with approval conditions in regard to drainage, fire safety and traffic aspects. All the submission related conditions are successfully complied with.
- 2.8 For drainage aspect, the applicant submitted a drainage proposal to comply with condition (a) on 04.03.2025, and the submission was considered acceptable by the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) on 17.03.2025. The applicant is carrying out works for implementation of the drainage proposal; however, the applicant expected that these works would not anticipate to be completed within the time limit.

- 2.9 For fire service aspect, the applicant submitted a set of Certificate of Fire Service Installations and Equipment (F.S. 251) of the Site to comply with condition (d) on 10.10.2024, and the submission was considered acceptable by Director of Fire Services (D of FS) on 30.10.2024.
- 2.10 The applicant has also submitted a FSIs proposal to comply with condition (e) on 06.12.2024, and the proposal was considered acceptable by the D of FS on 20.12.2024. Given that prior approval of Short Term Waiver (STW) is required for the erection of structures, within which the proposed FSI will be installed, the applicant has been liaising with respective land owner(s) to submit STW application to the District Lands Officer/North, Lands Department (DLO/N, LandsD). The applicant plans to carry out construction works of the structures and install the required FSI within the structures upon obtaining the STW approval.
- 2.11 For traffic aspects, the applicant submitted sets of photographic record of implemented traffic management measures within the Site to comply with condition (g) on 10.12.2025 and 30.03.2026, and both the submission was considered not acceptable by Commissioner of Transport on 19.12.2025 and 20.04.2026 respectively. The applicant is currently rectifying the construction work with one's traffic contractor. However, the applicant expected that one would not be able to make another submission to comply with condition (g) within the current planning approval period due to tight time limit.
- 2.12 In support of the application, the current applicant has submitted an updated FSIs proposal and the previously approved drainage proposal within the Site to minimise potential impact(s) to the surrounding areas, as well as for the consideration of relevant government bureaux/departments and members of the Board (**Appendices II and III**).

3) Development Proposal

- 3.1 The Site occupies an area of 4,177 m² (about) (**Plan 1**). A 1-storey structure is proposed at the Site for storage of construction material and machinery, site office and washroom uses with total gross floor area (GFA) of 216 m² (about) (**Plan 5**). The Site is designated for open storage of construction material and machinery. Ancillary facilities, including the site office and washroom are intended to support the daily operation of the Site. It is estimated that the development would be able to accommodate 2 nos. of staff. The operation hours of the Site are Mondays to Saturdays from 08:00 to 19:00. There will be no operation on Sundays and public holidays. As the Site is for 'open storage of construction material and machinery'

use with no shopfront, no visitor is anticipated at the Site. Details of development parameters are shown at **Table 2** below:

Table 2 - Major Development Parameters

Application Site Area	4,177 m ² (about)
Covered Area	216 m ² (about)
Uncovered Area	3,961 m ² (about)
Plot Ratio	0.05 (about)
Site Coverage	5 % (about)
Number of Structure(s)	1
Total GFA	216 m ² (about)
- Domestic GFA	Not applicable
- Non-Domestic GFA	216 m ² (about)
Building Height	5 m (about)
No. of Storey	1
Area designated for Open Storage	2,417 m ² (about)
Stacking Height	Not more than 3 m

- 3.2 The entire Site is has been filled with concrete of not more than 0.2 m with a proposed level of +11.7 mPD (**Plan 6**). The filling of land is to facilitate a flat surface for parking and loading/unloading (L/UL) space, open storage and circulation space uses. Such land filling is considered necessary and has been kept to minimal to meet the operational needs of the development. No further filling of land will be carried out by the applicant during the planning approval period.
- 3.3 Open storage activities would be carried out within the designated area (i.e. 2,417 m² (about)). The stacking height of the open storage materials would not exceed 3 m.
- 3.4 The Site is accessible from Ping Che Road via a local access (**Plan 1**). 2 parking spaces and 1 loading/unloading (L/UL) space will be provided at the Site, details of parking and L/UL provision are shown at **Table 3** below:

Table 3 - Parking and L/UL Provision

Type of Space	No. of Space
Private Car (PC) Parking Space - 2.5 m (W) x 5 m (L)	2
Medium Goods Vehicle (LGV) L/UL Space - 3.5 m (W) x 11 m (L)	1

- 3.5 Only PCs and MGVs are allowed to enter/exit the Site at any time during the planning approval period. Other vehicles, including heavy goods vehicles, container tractors/trailers, etc., are not allowed to enter/exit the Site. Staff will be deployed by the applicant to ensure no queuing and/or waiting for motor vehicles from the Site onto Ping Che Road via the local access; and no motor vehicles will be permitted to reverse into and out of the Site onto Ping Che Road via the local access. Sufficient space is provided for vehicles to smoothly manoeuvre within the Site to ensure that no vehicle will turn back onto the local access (**Plan 7**). As the traffic generated/attracted by the development is expected to be minimal (as shown at **Table 4** below), adverse traffic impacts arising from the development should not be anticipated.

Table 4 - Estimated Trip Generation and Attraction

Time Period	Trip Generation and Attraction				
	PC		MGV		2-Way Total
	In	Out	In	Out	
Trips at <u>AM peak</u> per hour (08:00 - 09:00)	2	0	1	0	3
Trips at <u>PM peak</u> per hour (18:00 - 19:00)	0	2	0	1	3
Traffic trip per hour (average)	0	0	1	1	2

- 3.6 The applicant will strictly follow the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' issued by Environmental Protection Department and statutory requirements under relevant pollution control ordinances to minimise adverse environmental impacts and nuisance to the surrounding area. The applicant will strictly comply with all environmental protection / pollution control ordinances, i.e. *Water Pollution Control Ordinance*, *Air Pollution Control Ordinance*, *Noise Control Ordinance* etc. at all times during the planning approval period. No storage of dangerous goods will be allowed at the Site at any time during the planning approval period.

4) Conclusion

- 4.1 The development will not create significant nuisance to the surrounding areas. Adequate mitigation measures have been provided by the applicant, i.e. submission of the previously approved drainage proposal and a FSIs proposal, to mitigate any adverse impacts after the planning application has been approved by the Board (**Appendices II and III**).
- 4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for **'Temporary Open Storage of Construction Material and Machinery with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years'**.

R-riches Planning Limited

April 2026

LIST OF PLANS

Plan 1	Location Plan
Plan 2	Zoning Plan
Plan 3	Land Status Plan
Plan 4	Plan showing the Site under TPB PG No. 13G
Plan 5	Layout Plan
Plan 6	Land Filling Plan
Plan 7	Swept Path Analysis (Medium Goods Vehicle)

APPENDICES

Appendix I	Comparison of Details Between the Current and Previous Application
Appendix II	Fire Service Installations Proposal
Appendix III	Approved Drainage Proposal under the Previous Application No. A/NE-TKL/763

LOCATION OF THE APPLICATION SITE

APPLICATION SITE AREA : 4,177 m² (ABOUT)

VEHICULAR ACCESS

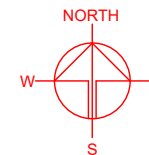
ACCESSIBLE FROM PING CHE ROAD VIA A LOCAL ACCESS

APPLICATION SITE

ACCESSIBLE FROM PING CHE ROAD VIA A LOCAL ACCESS

LEGEND

 APPLICATION SITE



PLANNING CONSULTANT



PROJECT

TEMPORARY OPEN STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 82, TA KWU LING, NEW TERRITORIES

SCALE

1 : 3000 @ A4

DRAWN BY

MN

DATE

13.4.2026

CHECKED BY

DATE

APPROVED BY

DATE

DWG. TITLE

LOCATION PLAN

DWG. NO.

PLAN 1

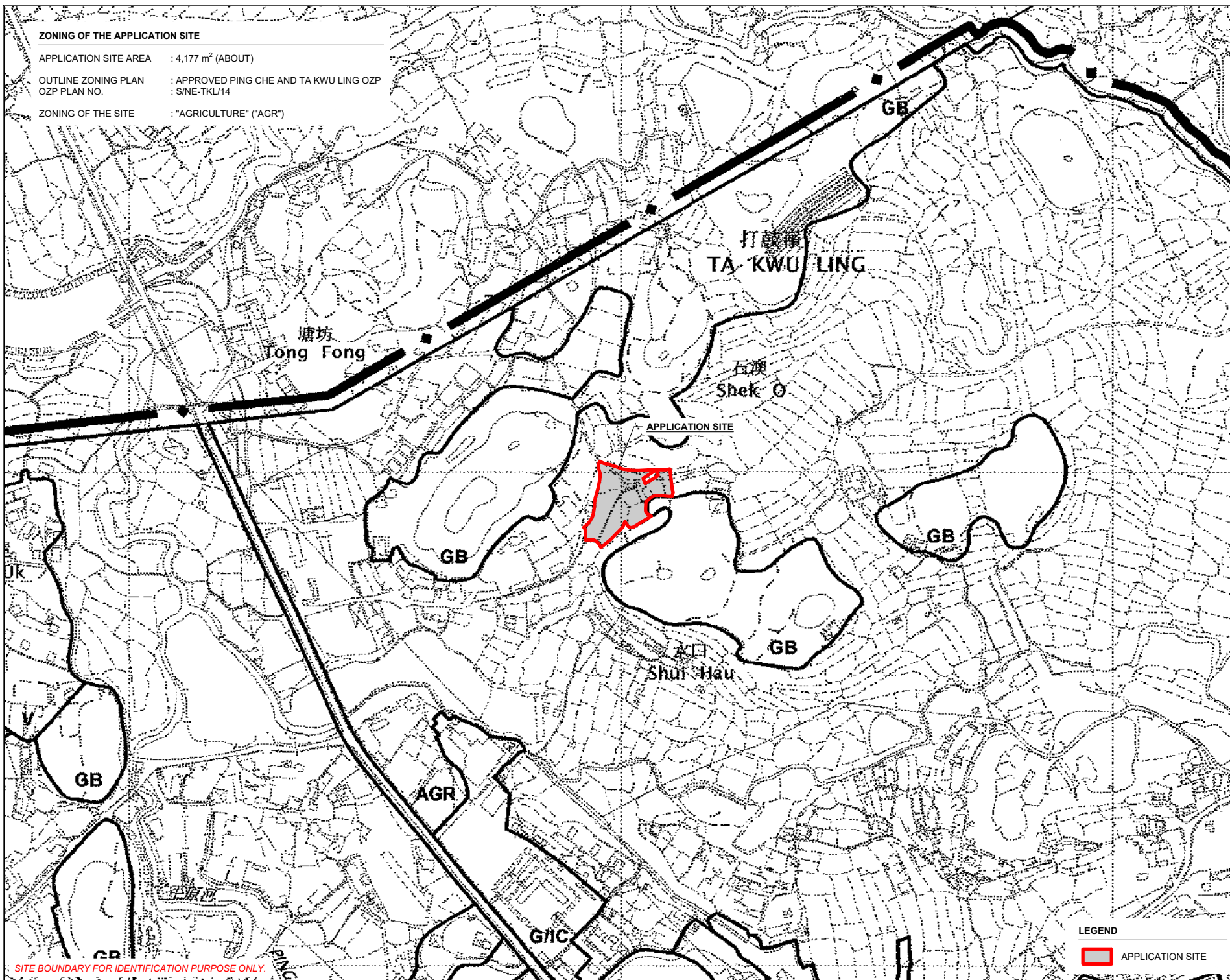
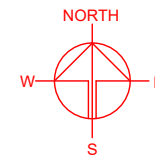
VER.

001

SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

ZONING OF THE APPLICATION SITE

APPLICATION SITE AREA : 4,177 m² (ABOUT)
OUTLINE ZONING PLAN : APPROVED PING CHE AND TA KWU LING OZP
OZP PLAN NO. : S/NE-TKL/14
ZONING OF THE SITE : "AGRICULTURE" ("AGR")



SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

LEGEND

 APPLICATION SITE

PLANNING CONSULTANT



PROJECT

TEMPORARY OPEN STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 82, TA KWU LING, NEW TERRITORIES

SCALE

1 : 5000 @ A4

DRAWN BY

MN

DATE

13.4.2026

CHECKED BY

DATE

APPROVED BY

DATE

DWG. TITLE

ZONING OF THE SITE

DWG NO.

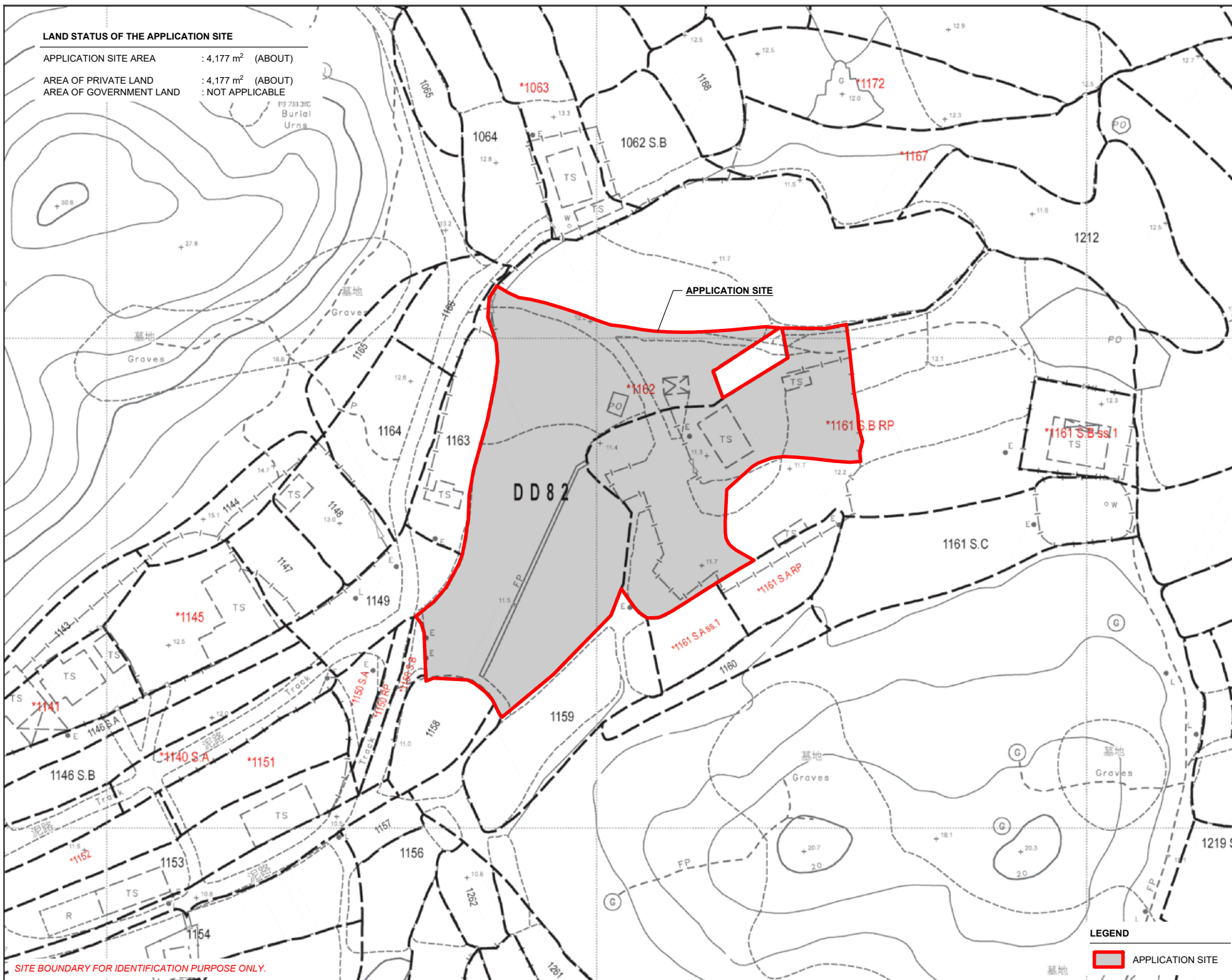
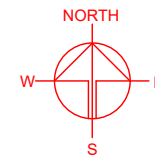
PLAN 2

VER.

001

LAND STATUS OF THE APPLICATION SITE

APPLICATION SITE AREA : 4,177 m² (ABOUT)
 AREA OF PRIVATE LAND : 4,177 m² (ABOUT)
 AREA OF GOVERNMENT LAND : NOT APPLICABLE



SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

LEGEND

APPLICATION SITE

PLANNING CONSULTANT



PROJECT

TEMPORARY OPEN STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 82, TA KWU LING, NEW TERRITORIES

SCALE

1 : 1000 @ A4

DRAWN BY

MN

DATE

13.4.2026

CHECKED BY

DATE

APPROVED BY

DATE

DWG. TITLE

LAND STATUS OF THE SITE

DWG NO.

PLAN 3

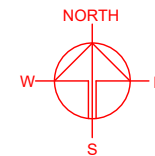
VER.

001

**TOWN PLANNING BOARD GUIDELINES NO. 13G
FOR APPLICATION FOR OPEN STORAGE AND PORT BACK-UP
USES UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE**

APPLICATION SITE AREA : 4,177 m² (ABOUT)

CATEGORY OF THE SITE : CATEGORY 2 AREA



Shek O

APPLICATION SITE

Shui Hau

-  Category 1 Areas
-  Category 2 Areas
-  Category 3 Areas
-  Category 4 Areas

SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

LEGEND

 APPLICATION SITE

PLANNING CONSULTANT



PROJECT

TEMPORARY OPEN STORAGE
OF CONSTRUCTION MATERIAL
AND MACHINERY WITH
ANCILLARY FACILITIES AND
ASSOCIATED FILLING OF LAND
FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 82, TA
KWU LING, NEW TERRITORIES

SCALE

1 : 2000 @ A4

DRAWN BY

MN

DATE

13.4.2026

CHECKED BY

DATE

APPROVED BY

DATE

DWG. TITLE

TPB PG-13G

DWG NO.

PLAN 4

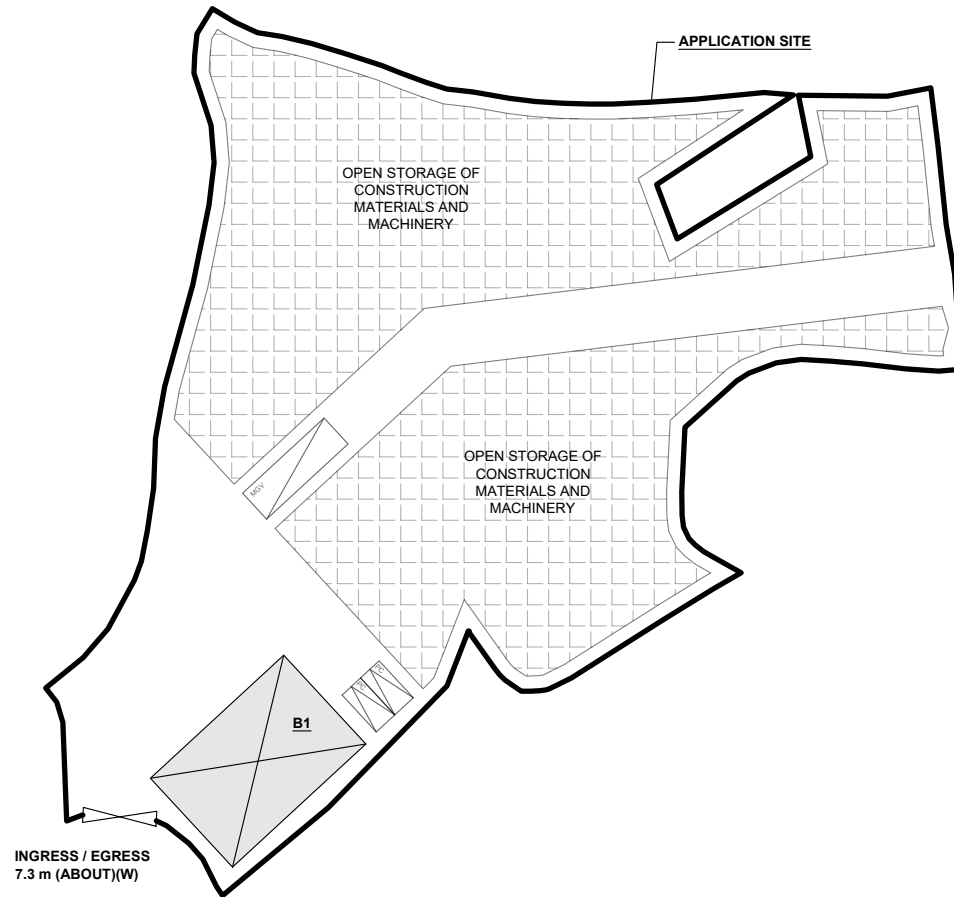
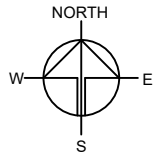
VER.

001

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 4,177 m ²	(ABOUT)
COVERED AREA	: 216 m ²	(ABOUT)
UNCOVERED AREA	: 3,961 m ²	(ABOUT)
PLOT RATIO	: 0.05	(ABOUT)
SITE COVERAGE	: 5 %	(ABOUT)
NO. OF STRUCTURE	: 1	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 216 m ²	(ABOUT)
TOTAL GFA	: 216 m ²	(ABOUT)
BUILDING HEIGHT	: 5 m	(ABOUT)
NO. OF STOREY	: 1	
OPEN STORAGE AREA	: 2,417 m ²	(ABOUT)
HEIGHT OF STACKING	: NOT MORE THAN 3 m	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY, SITE OFFICE AND WASHROOM	216 m ² (ABOUT)	216 m ² (ABOUT)	5 m (ABOUT)(1-STOREY)
TOTAL		216 m ² (ABOUT)	216 m ² (ABOUT)	



PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 2
DIMENSION OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/UL SPACE FOR MEDIUM GOODS VEHICLE	: 1
DIMENSION OF L/UL SPACE	: 11 m (L) X 3.5 m (W)

SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

LEGEND

	APPLICATION SITE
	STRUCTURE
	PARKING SPACE (PRIVATE CAR)
	L/UL SPACE (MEDIUM GOODS VEHICLE)
	INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

TEMPORARY OPEN STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 82, TA KWU LING, NEW TERRITORIES

SCALE

1 : 750 @ A4

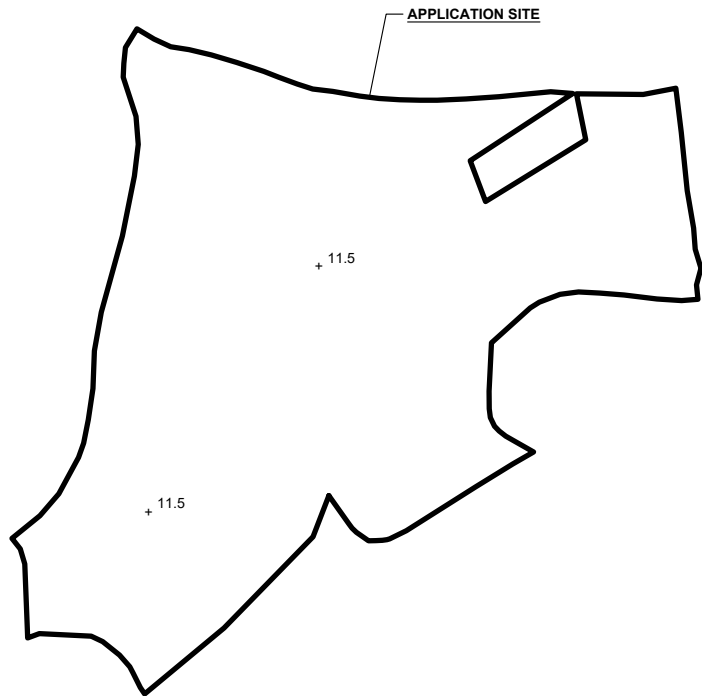
DRAWN BY	DATE
MN	13.4.2026
CHECKED BY	DATE
APPROVED BY	DATE

DWG. TITLE
LAYOUT PLAN

DWG NO.	VER.
PLAN 5	001

THE APPLICATION SITE BEFORE FILLING OF LAND

APPLICATION SITE AREA	: 4,177 m ²	(ABOUT)
EXISTING SOILED GROUND AREA	: 4,177 m ²	(ABOUT)
EXISTING SITE LEVELS	: +11.5 mPD	(ABOUT)



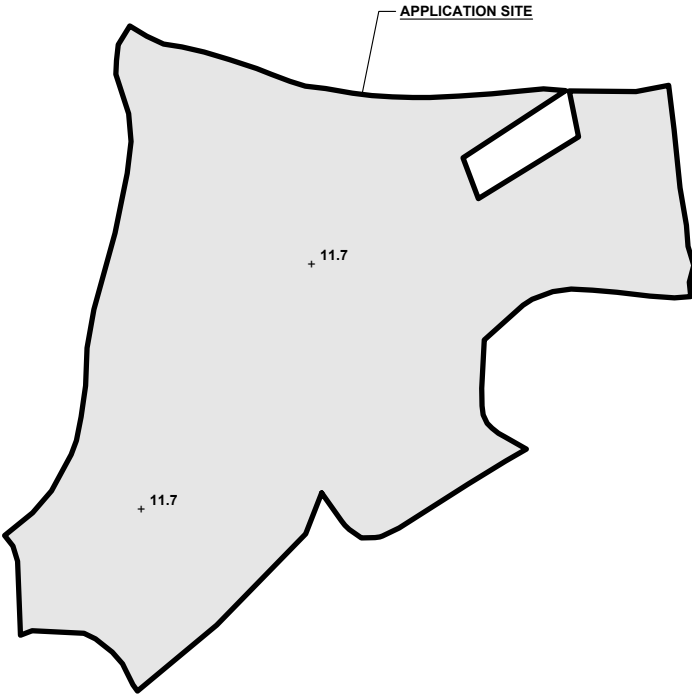
LEGEND

	APPLICATION SITE
+11.5	EXISTING SITE LEVEL

*SITE LEVELS ARE FOR ILLUSTRATION PURPOSE ONLY

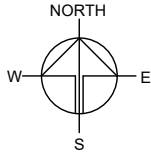
PROPOSED FILLING OF LAND AREA

APPLICATION SITE AREA	: 4,177 m ²	(ABOUT)
COVERED BY STRUCTURE	: 216 m ²	(ABOUT)
PROPOSED FILLING AREA	: 4,177 m ²	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.2 m	
PROPOSED SITE LEVELS	: +11.7 mPD	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
USE	: PARKING AND LOADING / UNLOADING SPACE, OPEN STORAGE AND CIRCULATION AREA	



LEGEND

	APPLICATION SITE
	LAND FILLING AREA
+11.7	PROPOSED SITE LEVEL



PLANNING CONSULTANT



PROJECT

TEMPORARY OPEN STORAGE
OF CONSTRUCTION MATERIAL
AND MACHINERY WITH
ANCILLARY FACILITIES AND
ASSOCIATED FILLING OF LAND
FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 82, TA
KWU LING, NEW TERRITORIES

SCALE

1 : 1000 @ A4

DRAWN BY	DATE
MN	13.4.2026
REVISED BY	DATE
APPROVED BY	DATE

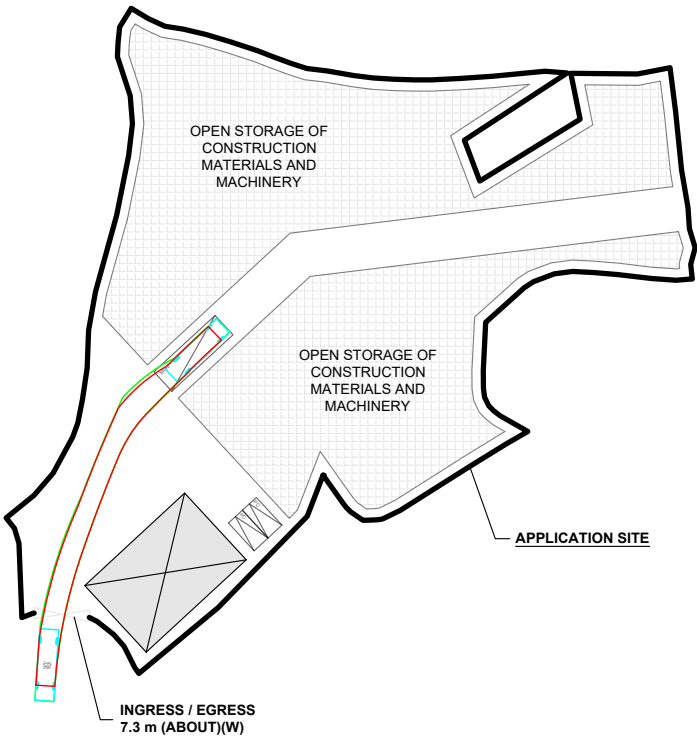
DWG. TITLE
FILLING OF LAND AREA

DWG NO. PLAN 6	VER. 001
-------------------	-------------

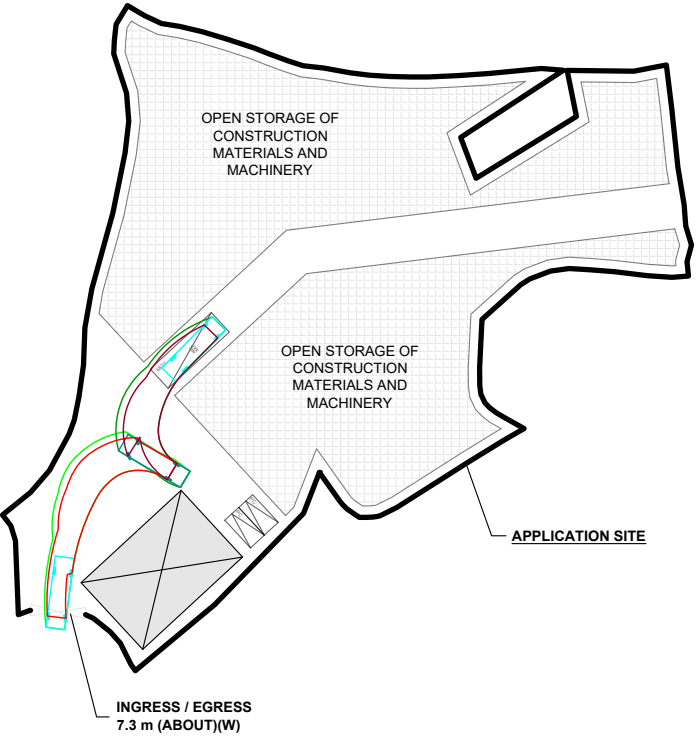
SWEPT PATH ANALYSIS

TYPE OF VEHICLE : MEDIUM GOODS VEHICLE
DIMENSION OF VEHICLE : 2.5 m (W) X 9.8 m (L)

SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING 2024

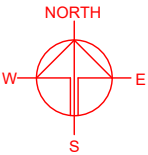


FROM THE LOCAL ACCESS TO
THE APPLICATION SITE



FROM THE APPLICATION SITE
TO THE LOCAL ACCESS

LEGEND	
	APPLICATION SITE
	STRUCTURE
	PARKING SPACE (PRIVATE CAR)
	L/U/L SPACE (MEDIUM GOODS VEHICLE)
	INGRESS / EGRESS
	MEDIUM GOODS VEHICLE
	SWEPT PATH OF VEHICLE



PLANNING CONSULTANT	
PROJECT	
TEMPORARY OPEN STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS	
SITE LOCATION	
VARIOUS LOTS IN D.D. 82, TA KWU LING, NEW TERRITORIES	
SCALE	
1 : 1000 @ A4	
DRAWN BY	DATE
MN	13.4.2026
CHECKED BY	DATE
APPROVED BY	DATE
DWG. TITLE	
SWEPT PATH ANALYSIS (MGV)	
DWG NO.	VER.
PLAN 7	001

Appendix I - Comparison of Details Between the Current and Previous Application

Development Parameters	Previous Application (No. A/NE-TKL/763) (a)	Current Application (b)	Differences (b) - (a)
Site Area	4,970 m ² (about)	4,177 m ² (about)	-793 m ² , (-16.0 %) (about)
Covered Area	216 m ² (about)	216 m ² (about)	-
Uncovered Area	4,754 m ² (about)	3,961 m ² (about)	-793 m ² , (-16.7 %) (about)
PR	0.04 (about)	0.05 (about)	-0.01, (-25.0 %) (about)
Site Coverage	4 % (about)	5 % (about)	-1 %, (-25.0 %) (about)
GFA	216 m ² (about)	216 m ² (about)	-
Building Height	5 m (about)	5 m (about)	-
No. of Storey	1	1	-
Parking Space for Private Cars	2	2	-
Loading/Unloading (L/UL) Space for Light Goods Vehicles	1	-	-1, (-100 %) (about)
L/UL Space for Medium Goods Vehicles	1	1	-
Open Storage Area	2,905 m ² (about)	2,417 m ² (about)	-488 m ² , (-16.8 %) (about)
Operation Hours	Mondays to Saturdays 08:00 - 19:00 No operation on Sundays and Public Holidays	Mondays to Saturdays 08:00 - 19:00 No operation on Sundays and Public Holidays	-

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 4,177 m ²	(ABOUT)
COVERED AREA	: 216 m ²	(ABOUT)
UNCOVERED AREA	: 3,961 m ²	(ABOUT)
PLOT RATIO	: 0.05	(ABOUT)
SITE COVERAGE	: 5 %	(ABOUT)
NO. OF STRUCTURE	: 1	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 216 m ²	(ABOUT)
TOTAL GFA	: 216 m ²	(ABOUT)
BUILDING HEIGHT	: 5 m	(ABOUT)
NO. OF STOREY	: 1	

PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 2
DIMENSION OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/UL SPACE FOR MEDIUM GOODS VEHICLE	: 1
DIMENSION OF L/UL SPACE	: 11 m (L) X 3.5 m (W)

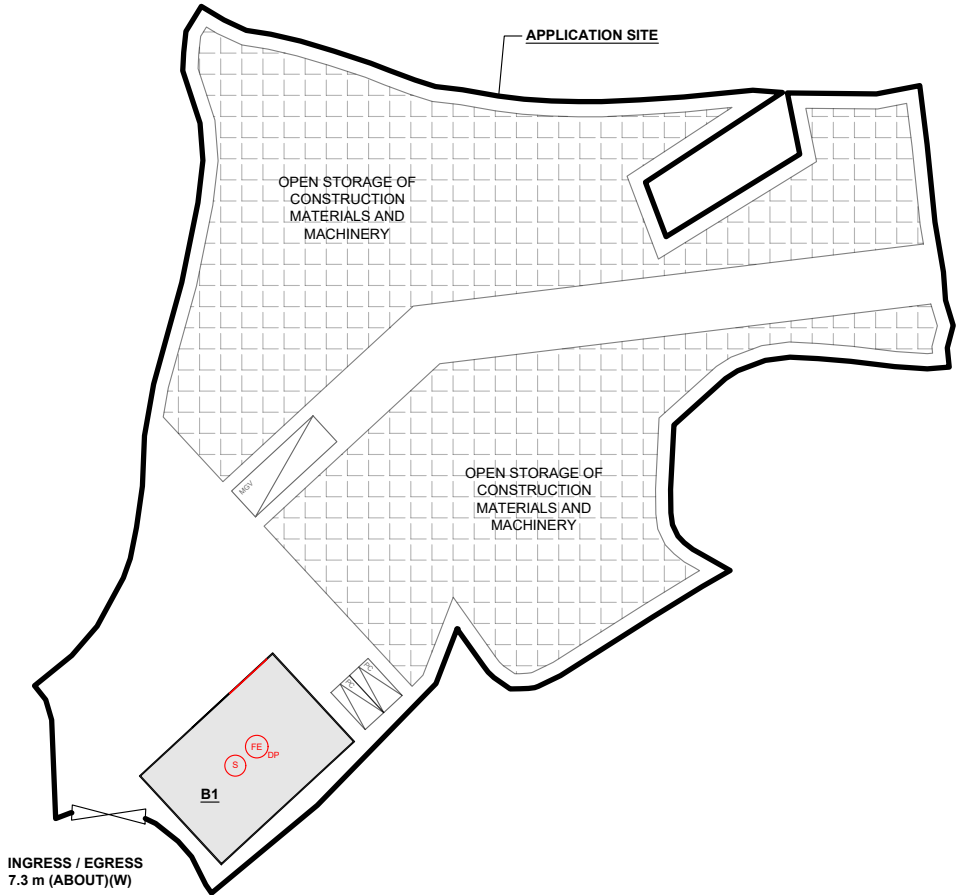
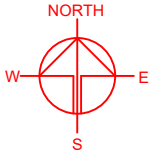
FIRE SERVICE INSTALLATIONS

-  STAND-ALONE BATTERY TYPE FIRE DETECTOR
-  4 KG DRY POWDER TYPE FIRE EXTINGUISHER

FS NOTES:

- 1) SUFFICIENT STAND-ALONE FIRE DETECTOR SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH "STAND-ALONE FIRE DETECTOR GENERAL GUIDELINES ON PURCHASE, INSTALLATION & MAINTENANCE [SEP 2021]".
- 2) IN RELATION TO 1) ABOVE, WHERE TWO OR MORE STAND-ALONE FIRE DETECTORS ARE INSTALLED IN AN ENCLOSED STRUCTURE, ALL STAND-ALONE DETECTORS SHALL BE INTERCONNECTED (EITHER WIRED OR WIRELESSLY) SUCH THAT WHEN ONE OF THE STAND-ALONE FIRE DETECTOR IS TRIGGERED, ALL CONNECTED STAND-ALONE FIRE DETECTORS SHALL SOUND AN ALARM SIMULTANEOUSLY.
- 3) PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- 4) ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY, SITE OFFICE AND WASHROOM	216 m ² (ABOUT)	216 m ² (ABOUT)	5 m (ABOUT)(1-STOREY)
TOTAL		216 m ² (ABOUT)	216 m ² (ABOUT)	



LEGEND

-  APPLICATION SITE
-  STRUCTURE
-  PARKING SPACE (PRIVATE CAR)
-  L/UL SPACE (MEDIUM GOODS VEHICLE)
-  INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

TEMPORARY OPEN STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 82, TA KWU LING, NEW TERRITORIES

SCALE

1 : 750 @ A4

DRAWN BY	DATE
MN	13.4.2026
CHECKED BY	DATE
APPROVED BY	DATE

DWG. TITLE
LAYOUT PLAN

DWG NO. PLAN 5	VER. 001
-------------------	-------------

規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室

**Planning Department**

Sha Tin, Tai Po & North
District Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

來函檔號 Your Reference DD82 Lot 1151 & VL
本署檔號 Our Reference () in TPB/A/NE-TKL/763
電話號碼 Tel. No.: 2158 6220
傳真機號碼 Fax No.: 2691 2806

By Post and Fax

17 March 2025

R-riches Property Consultants Ltd.

(Attn.: Kevin LAM)

Dear Sir/Madam,

**Proposed Temporary Open Storage of Construction Materials
and Machinery with Ancillary Facilities for a Period of 3 Years
and Associated Filling of Land in "Agriculture" Zone, Lots 1151,
1152, 1161 S.B RP (Part) and 1162 (Part) in D.D. 82, Ta Kwu Ling
(Compliance with Approval Condition (a) for Planning Application No. A/NE-TKL/763)**

I refer to your submission dated 4.3.2025 for compliance with approval condition (a) in relation to the submission of a drainage proposal to the satisfaction of the Director of Drainage Services or of the Town Planning Board under the captioned planning application.

The Chief Engineer/Mainland North, Drainage Services Department (Contact person: Mr. Wilson TAI; Tel.: 2300 1693) has been consulted and considered that approval condition (a) has been complied with. Her advisory comments are attached at **Appendix I** for your reference.

Should you have any other queries related to planning matters, please contact Ms. Sheren LEE of this Office at 2158 6391.

Yours faithfully,


(Rico TSANG)
for Director of Planning

Appendix I

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD)
(Contact person: Mr. Wilson TAI; Tel. No.: 2300 1693):

- (i) the applicant should be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to accommodate all discharge water collected from his lot and all upstream catchments. The applicant shall effect any subsequent upgrading of these proposed works and the downstream drainage systems whenever necessary;
- (ii) the cover levels of proposed u-channels, manholes and catch pits should be flush with the adjoining ground level;
- (iii) the applicant should check and ensure that the existing drainage system to which the proposed connection will be made have adequate capacity and satisfactory condition to cater for the additional discharge from the subject lot. He should also ensure that the flow from the subject site will not overload the existing drainage system;
- (iv) the subject site is in the vicinity of an existing streamcourse. The applicant shall be required to place all the proposed works 3m away from the top of the bank of the streamcourse. All the proposed works in the vicinity of the streamcourse should not create any adverse drainage impacts, both during and after construction;
- (v) the applicant is reminded that where walls are erected or kerbs are laid along the boundary of the site, peripheral channels should be provided on both sides of the walls or kerbs with details to be agreed by DSD;
- (vi) the existing discharge location to which the applicant proposed to discharge the stormwater from the subject site is not maintained by DSD. The applicant should identify the owner of the existing discharge location to which the proposed connection will be made and obtain agreement from the owner prior to commencement of proposed works;
- (vii) the applicant is reminded that all existing flow paths as well as the run-off falling onto and passing through the site should be intercepted and disposed of via proper discharge points. The applicant shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drain, channels and watercourses on or in the vicinity of the subject site any time during or after the works;
- (viii) the proposed drainage works, whether within or outside the lot boundary, should be constructed and maintained by the applicant at his own expense;
- (ix) for works to be undertaken outside the lot boundary, the applicant should obtain prior agreement from District Lands Officer/North, Lands Department and/or relevant private lot owners;
- (x) the applicant should make good all the adjacent affected areas upon the completion of the drainage works;

- (xi) the applicant should construct and maintain the proposed drainage works properly and rectify the system if it is found to be inadequate or ineffective during operation;
- (xii) as usual, Government should be empowered to inspect conditions of the private drainage system and to enforce its cleansing by the owners, if necessity arises (e.g. upon receipt of complaints); and
- (xiii) the existing drainage facilities, watercourse, river, channel and the like should not be affected and obstructed by the construction materials, waste or debris from the proposed development.

Our Ref.: DD82 Lot 1151 & VL
Your Ref.: TPB/A/NE-TKL/763

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong

By Email

4 March 2025

Dear Sir,

Compliance with Approval Condition (a)

**Proposed Temporary Open Storage of Construction Materials and Machinery
with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land in "Agriculture" Zone,
Lots 1151, 1152, 1161 S.B RP (Part) and 1162 (Part) in D.D. 82, Ta Kwu Ling, New Territories**

(S.16 Planning Application No. A/NE-TKL/763)

We are writing to submit a response to comment table and a revised drainage proposal for compliance with approval condition (a) of the subject application, i.e. *the submission of a drainage proposal* (**Appendices I and II**).

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited



Kevin LAM
Planning Assistant

cc DPO/STN, PlanD

(Attn.: Ms. Sheren LEE
(Attn.: Mr. Brian CHAN

email: sswlee@pland.gov.hk
email: bchchan@pland.gov.hk



Appendix I - Response-to-Comment

**Proposed Temporary Open Storage of Construction Materials and Machinery
with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land in “Agriculture” Zone,
Lots 1151, 1152, 1161 S.B RP (Part) and 1162 (Part) in D.D. 82, Ta Kwu Ling, New Territories**

(S.16 Planning Application No. A/NE-TKL/763)

(i) A RtoC Table:

Departmental Comments		Applicant's Responses
1. Comments of the Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) (Contact Person: Mr. Wilson TAI; Tel: 2300 1693)		
1	The applicant should be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to accommodate all discharge water collected from his lot and all upstream catchments. The applicant shall effect any subsequent upgrading of these proposed works and the downstream drainage systems whenever necessary;	Noted.
2	Figure 3 refers; (a) connection detail A is not applicable to the connection between UC2 (downstream of CP3.6) and the existing stream. The applicant should review; (b) CP3.10 should be a catchpit instead of a manhole; and	Noted. Please refer to updated Figure 3. a) Detail B added for your review. b) CP3.10 is revised to catchpit for your review.
3	The applicant should consider to provide u-channel along the north-east boundary of	Noted. Please refer to updated Figure 3. U channel is provided at north-east boundary of

S.16 Planning Application No. A/NE-TKL/763

	site A.	site A.
--	---------	---------



Proposed Temporary Open Storage of Construction Material and Machinery with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land in “Agriculture” Zone, Various Lots in D.D. 82, Ta Kwu Ling, New Territories
Drainage Proposal

Proposed Temporary Open Storage of Construction Material and Machinery with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land in “Agriculture” Zone, Various Lots in D.D. 82, Ta Kwu Ling, New Territories

Drainage Proposal

March 2025

Table of Content

1.	Introduction	1
1.1	Background	1
1.2	The Site	1
2.	Development Proposal.....	2
2.1	The Proposed Development	2
3.	Assessment Criteria	2
4.	Proposed Drainage System	5
5.	Conclusion	5

List of Table

Table 1 - Key Development Parameters	2
Table 2– Design Return Periods under SDM	2

List of Figure

Figure 1 – Site Location Plan
Figure 2 - Existing Drainage Plan
Figure 3 – Proposed Drainage System
Figure 4 – Catchment Plan

List of Appendix

Appendix A – Channel Design Calculations
Appendix B - Development Layout Plan
Appendix C – Reference Drawings
Appendix D – Reference Drawings

1. Introduction

1.1 Background

- 1.1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use Lots 1151, 1152, 1161 S.B RP (Part) and 1162 (Part) in D.D. 82, Ta Kwu Ling, New Territories (the Site) for 'Proposed Temporary Open Storage of Construction Material and Machinery with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land'
- 1.1.2 This Drainage Proposal aim to support the development in drainage aspect.

1.2 The Site

- 1.2.1 The Sites are in vicinity of Ping Che Road. It has a total area of about 4,970m². The sites are mainly cover with vegetation and partially paved. The site location plan is shown in **Figure 1**.
- 1.2.2 The existing site ground levels are various from +11.5 mPD to +11.7 mPD. The site is proposed to all paved to +11.7 mPD.
- 1.2.3 An existing stream is running from east to the west at the south of the site. Existing Drainage Plan are shown in **Figure 2** for reference.
- 1.2.4 Proposed Development Layout plan is shown in **Appendix B** for reference.

2. Development Proposal

2.1 The Proposed Development

2.1.1 The total site area is approximately 4,970 m². The indicative development schedule is summarized in **Table 1** below for technical assessment purpose. The catchment plan is shown in **Figure 4**.

Proposed Development	
Total Site Area (m ²)	4,970
- Site A (m ²) (about)	783
- Site B (m ²) (about)	4,187

Table 1 - Key Development Parameters

3. Assessment Criteria

3.1.1 The Recommended Design Return Period based on Flood Level from SDM (Table 10) is adopted for this DIA. The recommendation is summarized in **Table 2** below.

Description	Design Return Periods
Intensively Used Agricultural Land	2 – 5 Years
Village Drainage Including Internal Drainage System under a polder Scheme	10 Years
Main Rural Catchment Drainage Channels	50 Years
Urban Drainage Trunk System	200 Years
Urban Drainage Branch System	50 Years

Table 2– Design Return Periods under SDM

3.1.2 The proposed drainage system intended to collect runoff from internal site and external catchment. 1 in 10 years return period is adopted for the drainage design.

3.1.3 Stormwater drainage design will be carried out in accordance with the criteria set out in the Stormwater Drainage Manual published by DSD. The proposed design criteria to be adopted for design of this stormwater drainage system and factors which have been considered are summarised below.

1. Intensity-Duration-Frequency Relationship – The Recommended Intensity-Duration-Frequency relationship is used to estimate the intensity of rainfall. It can be expressed by the following algebraic equation.

$$i = \frac{a}{(t_d + b)^c}$$

The site is located within the North District Zone. Therefore, for 10 years return period, the following values are adopted.

a	=	454.9
b	=	3.44
c	=	0.412

(Corrigendum_No.1_2024)

2. The peak runoff is calculated by the Rational Method
i.e. $Q_p = 0.278CiA$

where	Q_p	=	peak runoff in m ³ /s
	C	=	runoff coefficient (dimensionless)
	i	=	rainfall intensity in mm/hr
	A	=	catchment area in km ²

3. The run-off coefficient (C) of surface runoff are taken as follows:

1. Paved Area: C = 0.95
2. Unpaved Area: C = 0.35

4. Manning's Equation is used for calculation of velocity of flow inside the channels:

$$\text{Manning's Equation: } v = \frac{R^{\frac{1}{6}}}{n} R^{\frac{1}{2}} S_f^{\frac{1}{2}}$$

Where,

V = velocity of the pipe flow (m/s)

S_f = hydraulic gradient

n = manning's coefficient

R = hydraulic radius (m)

5. Colebrook-White Equation is used for calculation of velocity of flow inside the pipes:

$$\text{Colebrook-White Equation: } \frac{1}{v} = -\sqrt{32gRS} \log \log \left(\frac{k_s}{14.8R} + \frac{1.255v}{R\sqrt{32gRS_f}} \right)$$

where,

V	=	velocity of the pipe flow (m/s)
S _f	=	hydraulic gradient
k _f	=	roughness value (m)
v	=	kinematics viscosity of fluid
D	=	pipe diameter (m)
R	=	hydraulic radius (m)

4. Proposed Drainage System

4.1. Proposed UChannel

- 4.1.1 Proposed U-channels are designed for collection of runoff within and near the Development Site. Please refer to the **Figure 4** for proposed catchment plan. The U-channels from both site A and site B are proposed to be connected and discharged to existing stream at the south. The design calculations of proposed UChannels are shown in **Appendix A**.
- 4.1.2 The alignment, size, gradient and details of the proposed drains are shown in **Figure 3**.
- 4.1.3 The reference standard drawings of drains are shown in **Appendix C**.

5. Conclusion

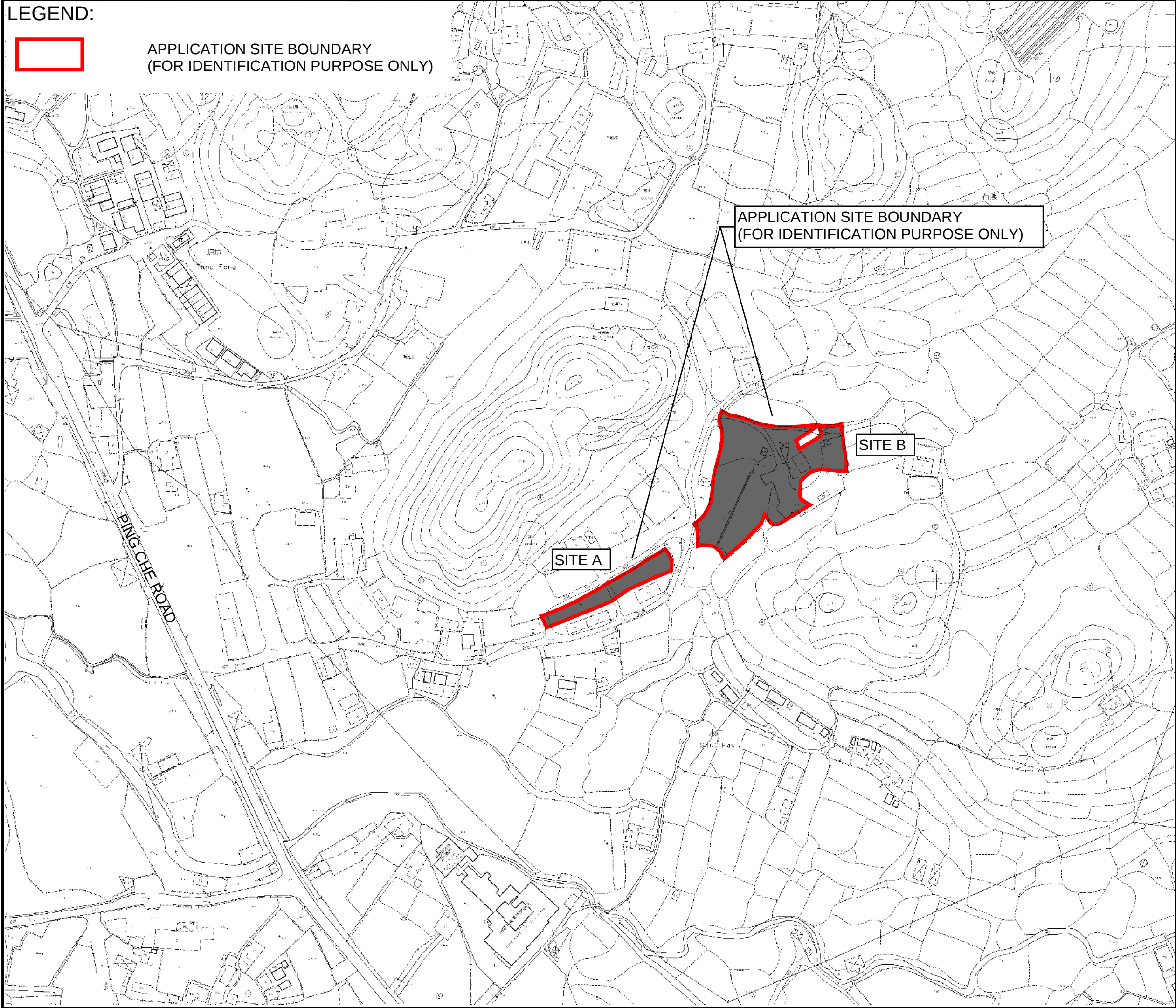
- 5.1.1 Drainage study has been conducted for the Proposed Development. With implementation of proposed drainage system, no significant drainage impact is anticipated.

- End of Text -

FIGURES

LEGEND:

 APPLICATION SITE BOUNDARY
(FOR IDENTIFICATION PURPOSE ONLY)

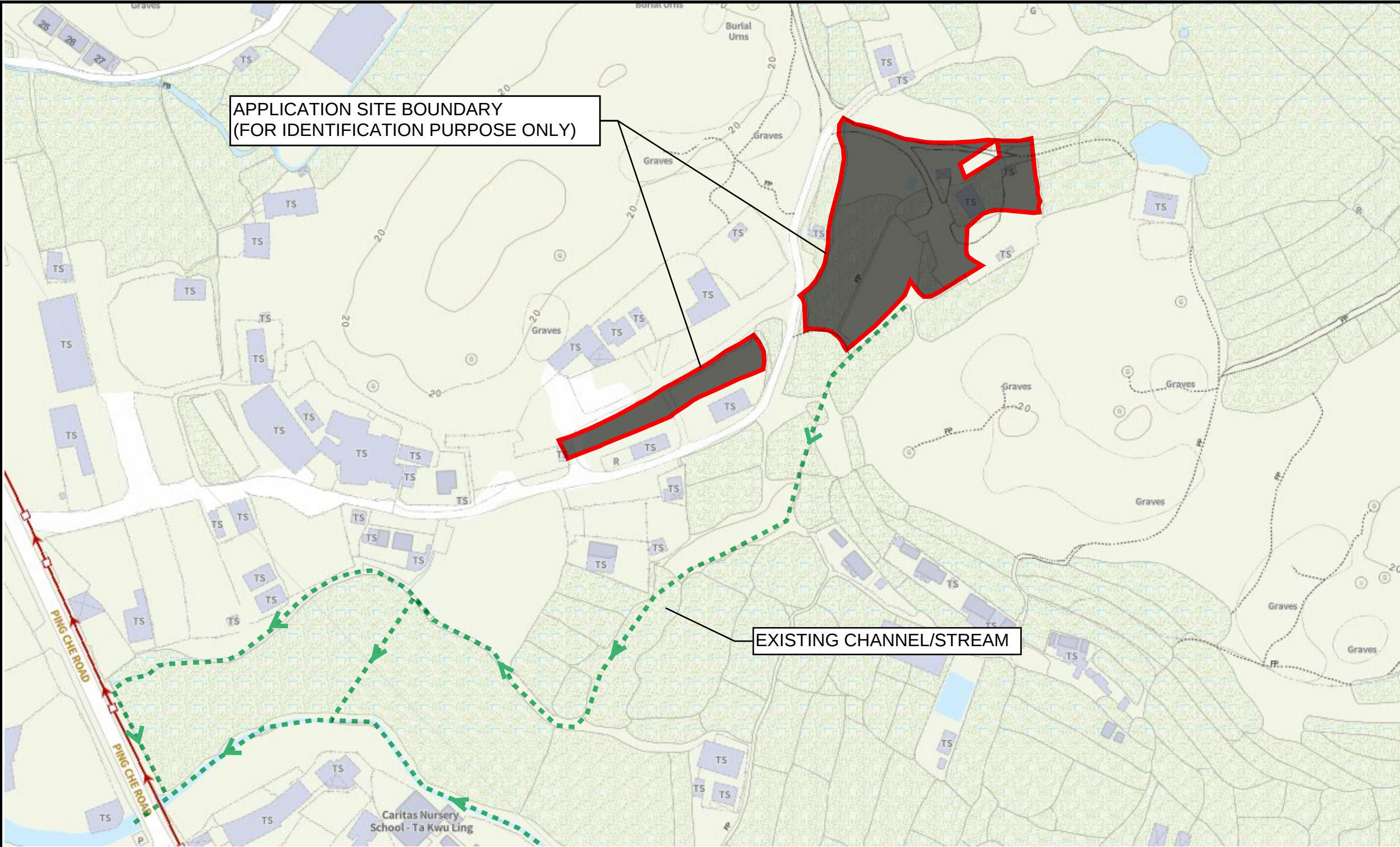


PROJECT:
Proposed Temporary Open
Storage of Construction Material
and Machinery with Ancillary
Facilities for a Period of 3 Years
and Associated Filling of Land in
“Agriculture” Zone, Various Lots
in D.D. 82, Ta Kwu Ling, New
Territories

REV	DESCRIPTION	DATE
-----	-------------	------

DRAWING TITLE
SITE LOCATION PLAN

DRAWING NUMBER
FIGURE 1



PROJECT:
Proposed Temporary Open
Storage of Construction Material
and Machinery with Ancillary
Facilities for a Period of 3 Years
and Associated Filling of Land in
“Agriculture” Zone, Various Lots
in D.D. 82, Ta Kwu Ling, New
Territories

LEGEND:

	Combined Manhole		Tapping Point (Sewer)		Tapping Point (Storm)
	Overflow (Combined)		Sewer Terminal Manhole		Storm Water Terminal Manhole
	Pipe (Combined)		Catchpit		Tunnel Protection Zone (100m / 200m)
	Interface Valve Chamber		Inlet		Tunnel Protection Zone (General Range)
	Sewer Manhole		Storm Water Manhole		Tunnel / Box Culvert (Sewer)
	Oil / Petrol Interceptor		Outlet		Tunnel / Box Culvert (Storm)
	Overflow (Sewer)		Pipe (Storm)		EXISTING CHANNEL/STREAM
	Pipe (Sewer)		Sand Trap		

REV	DESCRIPTION	DATE
-----	-------------	------

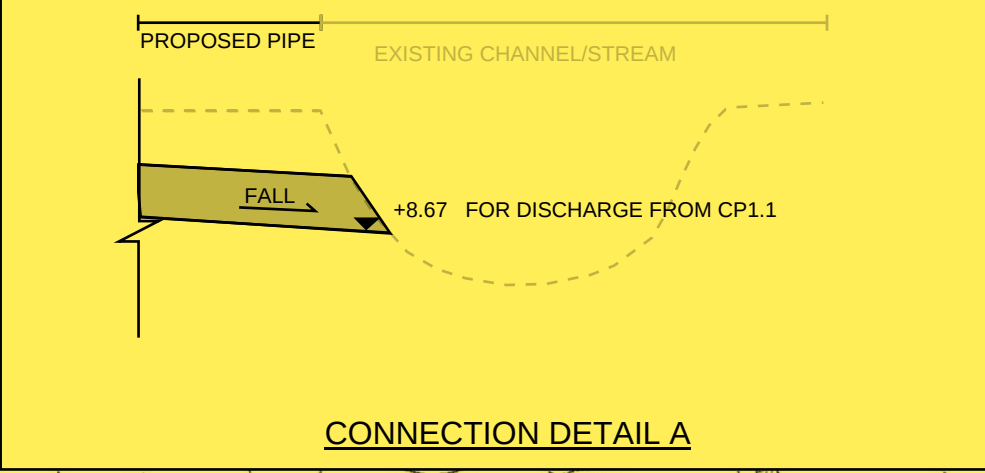
DRAWING TITLE
**EXISTING DRAINAGE
PLAN**

DRAWING NUMBER
FIGURE 2

LEGEND:

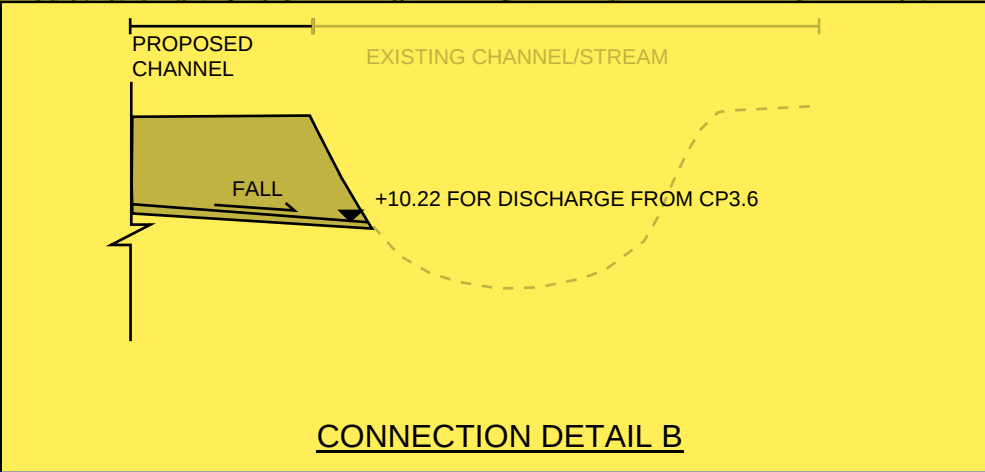
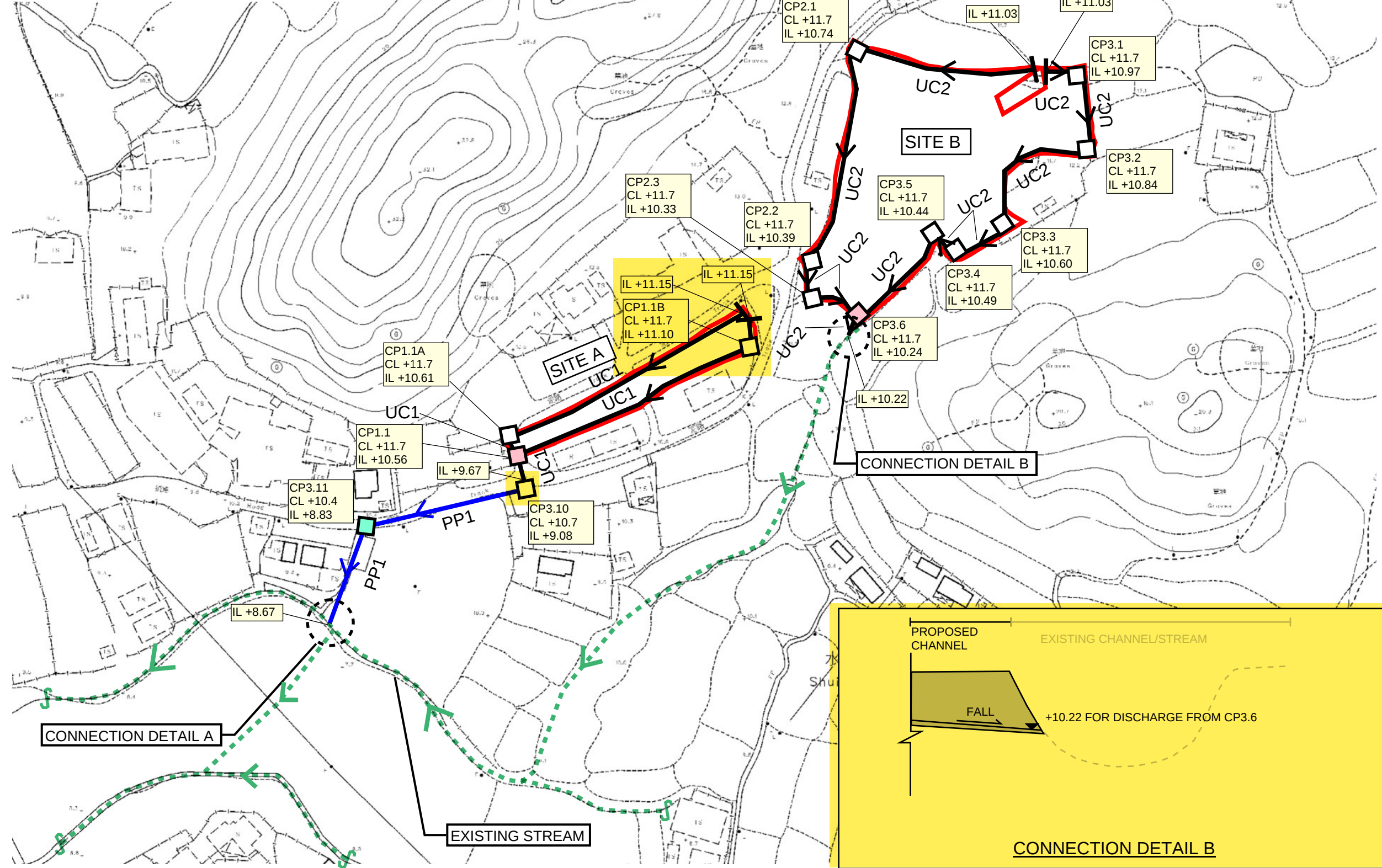
- APPLICATION SITE BOUNDARY
(FOR IDENTIFICATION PURPOSE ONLY)
- PROPOSED CATCHPIT
- PROPOSED CATCHPIT W/TRAP
- PROPOSED MANHOLE TYPE E1
- PROPOSED UCHANNEL
- PROPOSED PIPE

UCHANNEL TYPE
UCHANNEL 1 (UC1) - 525mm, MIN. 1 IN 150
UCHANNEL 2 (UC2) - 600mm, MIN. 1 IN 200
PIPE1 (PP1) - 525mm, MIN. 1 IN 200 (CONCRETE PIPE)



NOTES:

1. INVERT LEVEL OF CONNECTION POINT SHOULD BE VERIFIED ON SITE BEFORE CONSTRUCTION.



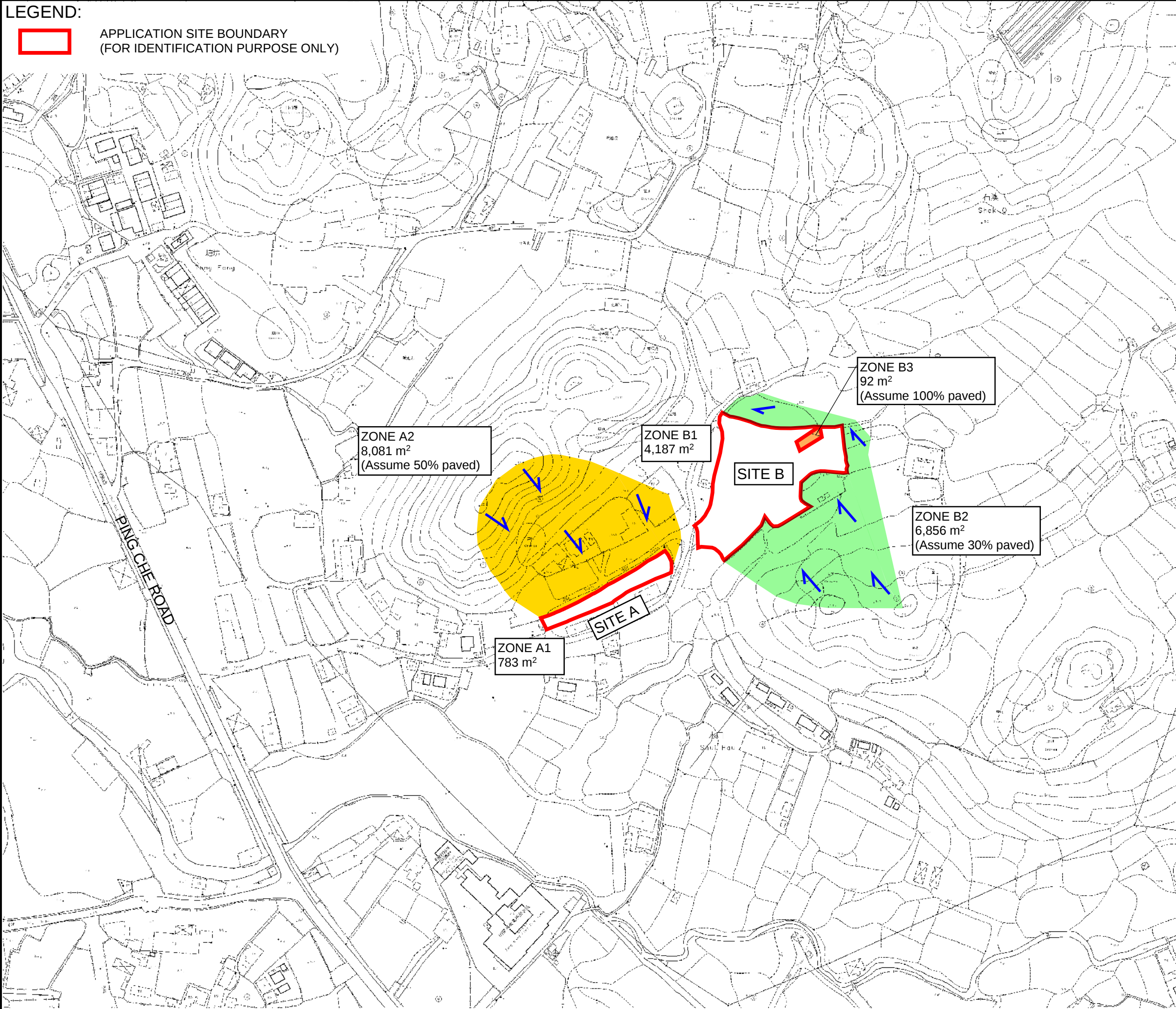
PROJECT:
Proposed Temporary Open
Storage of Construction Material
and Machinery with Ancillary
Facilities for a Period of 3 Years
and Associated Filling of Land in
“Agriculture” Zone, Various Lots
in D.D. 82, Ta Kwu Ling, New
Territories

REV	DESCRIPTION	DATE
DRAWING TITLE PROPOSED DRAINAGE SYSTEM		
DRAWING NUMBER FIGURE 3		

LEGEND:



APPLICATION SITE BOUNDARY
(FOR IDENTIFICATION PURPOSE ONLY)



PROJECT:
Proposed Temporary Open
Storage of Construction Material
and Machinery with Ancillary
Facilities for a Period of 3 Years
and Associated Filling of Land in
“Agriculture” Zone, Various Lots
in D.D. 82, Ta Kwu Ling, New
Territories

REV	DESCRIPTION	DATE
-----	-------------	------

DRAWING TITLE
CATCHMENT PLAN

DRAWING NUMBER
FIGURE 4

APPENDIX

Appendix A - Channel Design Calculation

U Channel 1 (Zone A1 + A2)

Runoff Estimation

Design Return Period		1 in	10	years
Paved Area	783 + 8081 x 0.5=		4824	(m2)
Unpaved Area	8081 x 0.5 =		4041	(m2)
Total Equivalent Area	4824 x 0.95 + 4041 x 0.35 =		5997	(m2)
Time of Concentration			5	min
Rainfall Intensity, I *			189	mm/hr
Design Discharge Rate, Q	0.278 x 5997 x 189 / 1000000 =		0.315	m3/s

$$* i = \frac{a}{(t_d + b)^c}$$

U Channel

Channel Size		1 in	525	(mm)
Gradient			150	
Area	$\pi \times 0.53^2 / 8 + 0.53 \times 0.53 / 2 =$		0.246	(m2)
Wetted Perimeter	$\pi \times 0.53 / 2 + 0.53 / 2 \times 2 =$		1.350	(m)
R	$0.246 / 1.35 =$		0.104	(m)
Velocity			1.64	m/s
Capacity			0.404	m3/s

Utilization 0.315 / 0.404 = 78.01 % OK (less than 90%, for 10% siltation allowance)

U Channel 2 (Zone B1 + B2 + B3)

Runoff Estimation

Design Return Period		1 in	10	years
Paved Area	4187 + 92 x 1 + 6856 x 0.3=		6336	(m2)
Unpaved Area	0 + 92 x 0 + 6856 x 0.7=		4799	(m2)
Total Equivalent Area	6336 x 0.95 + 4799 x 0.35 =		7699	(m2)
Time of Concentration			5	min
Rainfall Intensity, I *			189	mm/hr
Design Discharge Rate, Q	0.278 x 4799 x 189 / 1000000 =		0.404	m3/s

$$* i = \frac{a}{(t_d + b)^c}$$

U Channel

Channel Size		1 in	600	(mm)
Gradient			200	
Area	$\pi \times 0.6^2 / 8 + 0.6 \times 0.6 / 2 =$		0.321	(m2)
Wetted Perimeter	$\pi \times 0.6 / 2 + 0.6 / 2 \times 2 =$		1.542	(m)
R	$0.321 / 1.542 =$		0.208	(m)
Velocity			1.55	m/s
Capacity			0.499	m3/s

Utilization 0.404 / 0.499 = 81.00 % OK (less than 90%, for 10% siltation allowance)

Checking of existing capacity against proposed flow from the Application Site (Zone [A1 + A2] + [B1 + B2 + B3])

Runoff Estimation

Design Return Period		1 in	10	years
Paved Area	4824 + 6336 =		11159	(m2)
Unpaved Area	4041 + 4799 =		8840	(m2)
Total Equivalent Area	11159 x 0.95 + 8840 x 0.35 =		13695	(m2)
Time of Concentration			5	min
Rainfall Intensity, I *			189	mm/hr
Design Discharge Rate, Q	0.278 x 13695 x 189 / 1000000 =		0.719	m3/s

$$* i = \frac{a}{(t_d + b)^c}$$

U Channel

Channel Size		1 in	1500	(mm)
Gradient			200	
Area	$\pi \times 1.5^2 / 8 + 1.5 \times 1.5 / 2 =$		2.009	(m2)
Wetted Perimeter	$\pi \times 1.5 / 2 + 1.5 / 2 \times 2 =$		3.856	(m)
R	$2.009 / 3.856 =$		0.521	(m)
Velocity			2.86	m/s
Capacity			5.747	m3/s

Utilization 0.719 / 5.747 = 12.52 % OK (less than 90%, for 10% siltation allowance)

The utilization of existing channel is about 13% only

PipeWorks Design

Pipe 1 (Zone A1 + A2)

Runoff Estimation

Design Return Period		1 in	10	years
Paved Area	783 + 8081 x 0.5=		4824	m2
Unpaved Area	8081 x 0.5 =		4041	m2
Total Equivalent Area	6336 x 0.95 + 4799 x 0.35 =		5997	m2
Time of Concentration			5	min
Rainfall Intensity			189	mm/hr
Design Discharge Rate			0.315	m3/s

Zone A1 + A2

Pipe Design (Concrete Pipe)

Pipe Size		1 in	525	mm
Gradient			200	
Velocity			1.82	m/s
Capacity			0.394	m3/s

Colebrook-White Equation ks= 0.15

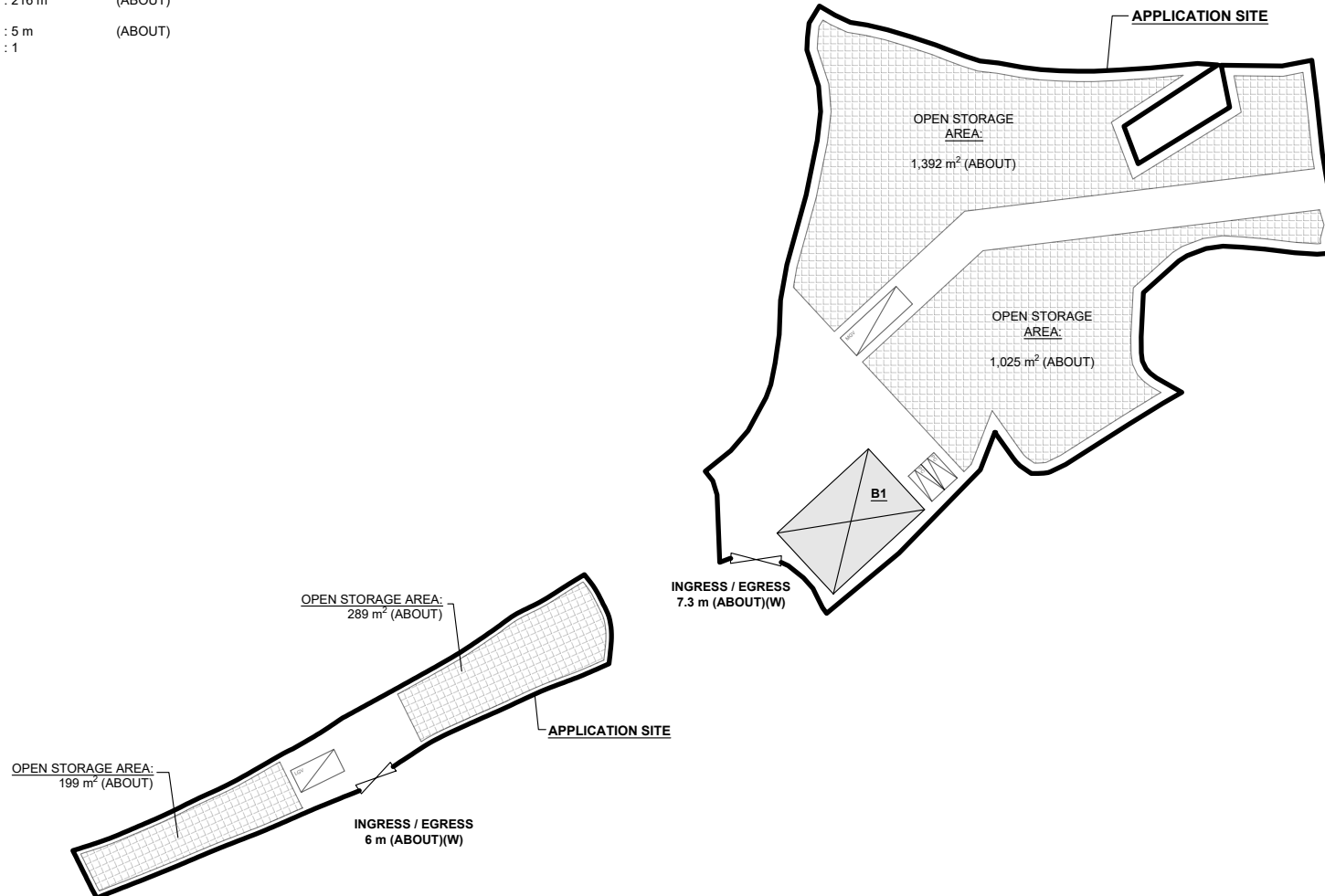
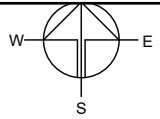
Utilization = 79.93 % <90%

Appendix B - Proposed Development Layout Plan

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 4,970 m ²	(ABOUT)
COVERED AREA	: 216 m ²	(ABOUT)
UNCOVERED AREA	: 4,754 m ²	(ABOUT)
PLOT RATIO	: 0.04	(ABOUT)
SITE COVERAGE	: 4 %	(ABOUT)
NO. OF STRUCTURE	: 1	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 216 m ²	(ABOUT)
TOTAL GFA	: 216 m ²	(ABOUT)
BUILDING HEIGHT	: 5 m	(ABOUT)
NO. OF STOREY	: 1	

		AREA		HEIGHT
B1	STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY, SITE OFFICE AND WASHROOM	216 m ² (ABOUT)	216 m ² (ABOUT)	5 m (ABOUT)(1-STOREY)
TOTAL		216 m ² (ABOUT)	216 m ² (ABOUT)	



PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 2
DIMENSION OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF L/UL SPACE	: 7 m (L) X 3.5 m (W)
NO. OF L/UL SPACE FOR MEDIUM GOODS VEHICLE	: 1
DIMENSION OF L/UL SPACE	: 11 m (L) X 3.5 m (W)

LEGEND

	APPLICATION SITE
	STRUCTURE
	PARKING SPACE (PRIVATE CAR)
	L/UL SPACE (LIGHT GOODS VEHICLE)
	L/UL SPACE (MEDIUM GOODS VEHICLE)
	INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY OPEN STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

VARIOUS LOTS IN D.D. 82, TA KWU LING, NEW TERRITORIES

SCALE

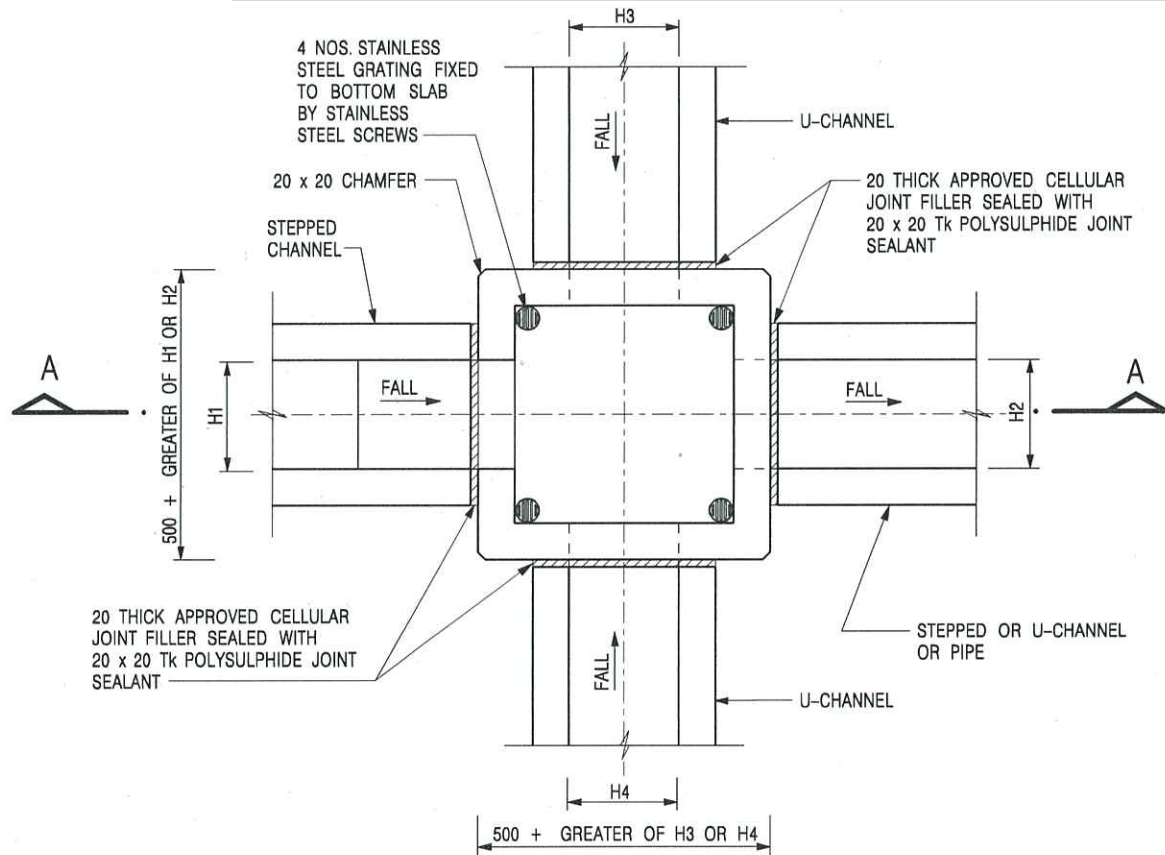
1 : 1000 @ A4

DRAWN BY	DATE
MN	17.5.2024
CHECKED BY	DATE
APPROVED BY	DATE

DWG. TITLE
LAYOUT PLAN

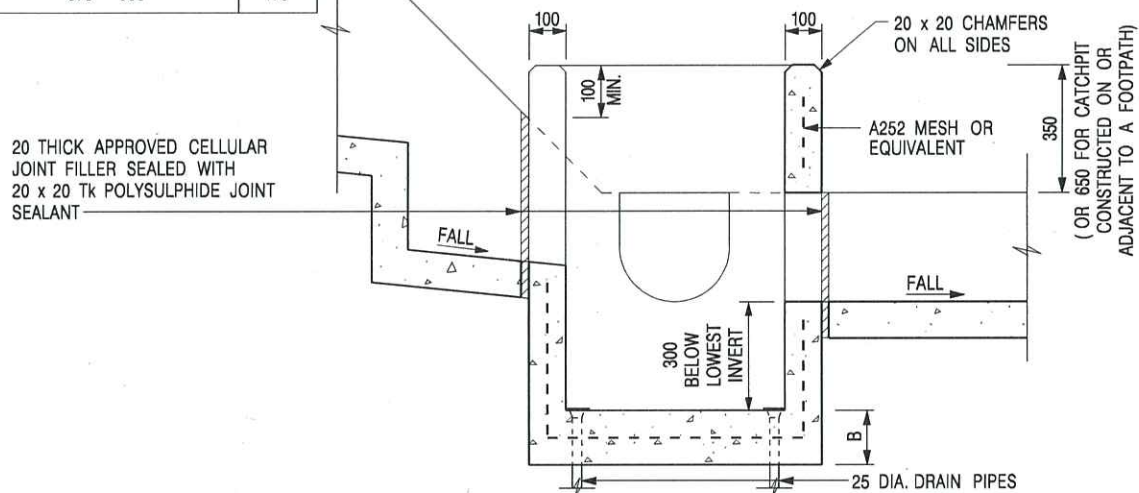
DWG NO. PLAN 5	VER. 001
-------------------	-------------

Appendix C - Reference Drawings



PLAN

NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175



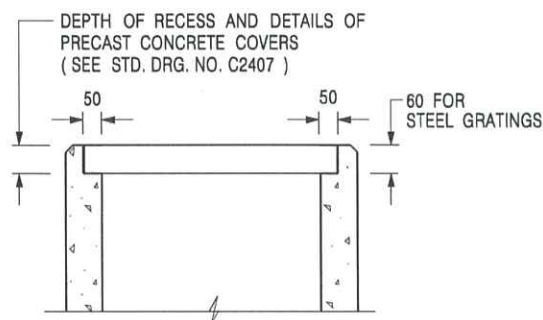
SECTION A - A

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		SCALE 1 : 20 DATE JAN 1991	
		DRAWING NO. C2406 /1	



**ALTERNATIVE TOP SECTION
FOR PRECAST CONCRETE COVERS / GRATINGS**

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

**CATCHPIT WITH TRAP
(SHEET 2 OF 2)**



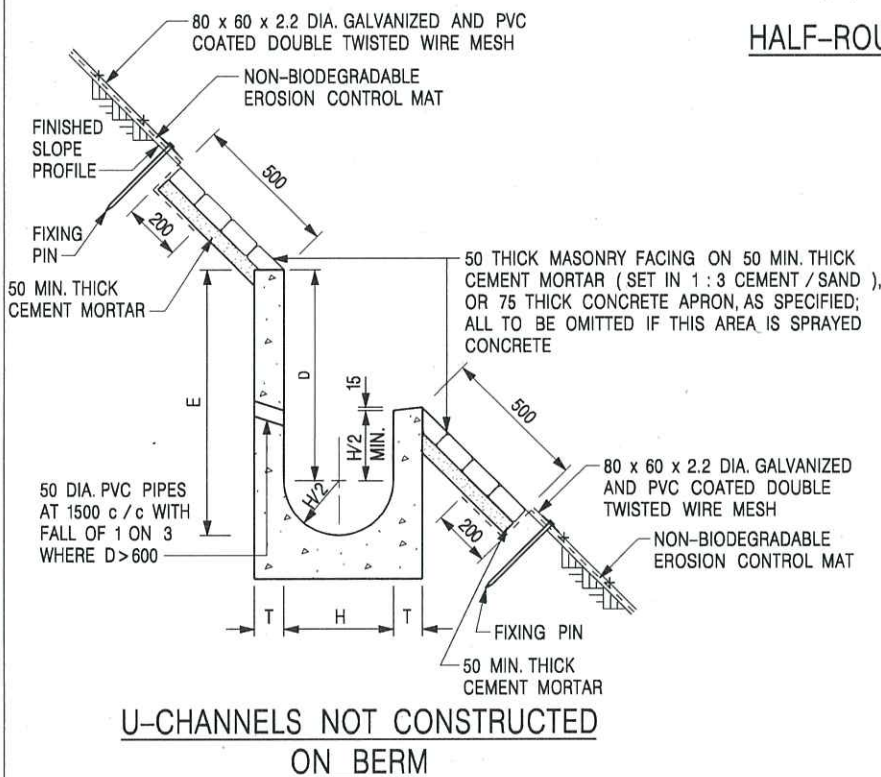
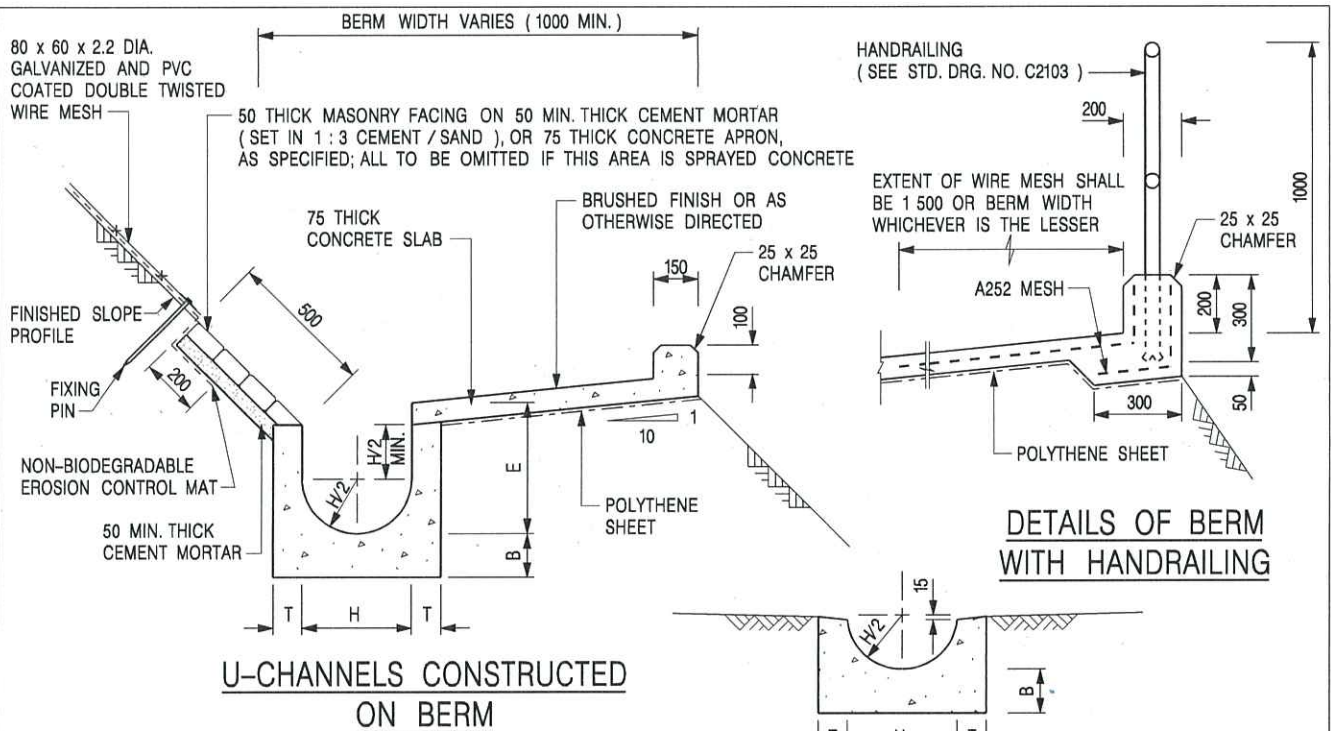
**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2406 /2A



NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/E.
8. CONCRETE TO BE COLOURED AS SPECIFIED.
9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
10. DETAILS OF EROSION CONTROL MAT AND WESH MESH ON BERM. (SEE STD DRG. NO. C2511/E)

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

I	MINOR AMENDMENT.	Original Signed	07.2018
H	THICKNESS OF MASONRY FACING AMENDED.	Original Signed	01.2005
G	MINOR AMENDMENT.	Original Signed	01.2004
F	GENERAL REVISION.	Original Signed	12.2002
E	DRAWING TITLE AMENDED.	Original Signed	11.2001
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENTS.	Original Signed	3.94
REF.	REVISION	SIGNATURE	DATE

DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE A - WITH MASONRY APRON)



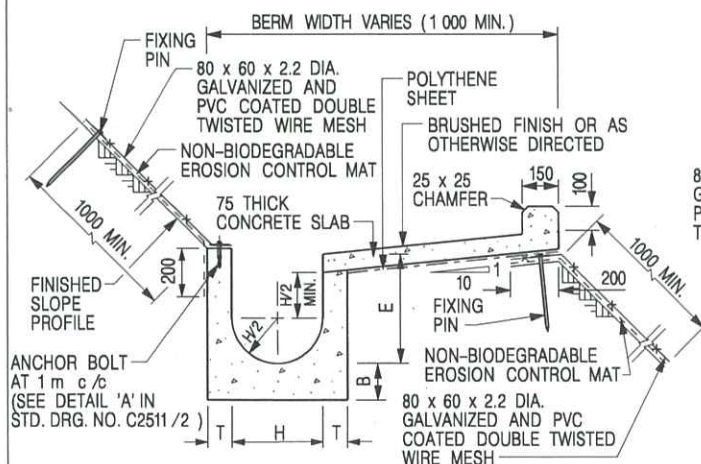
CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

SCALE 1 : 25

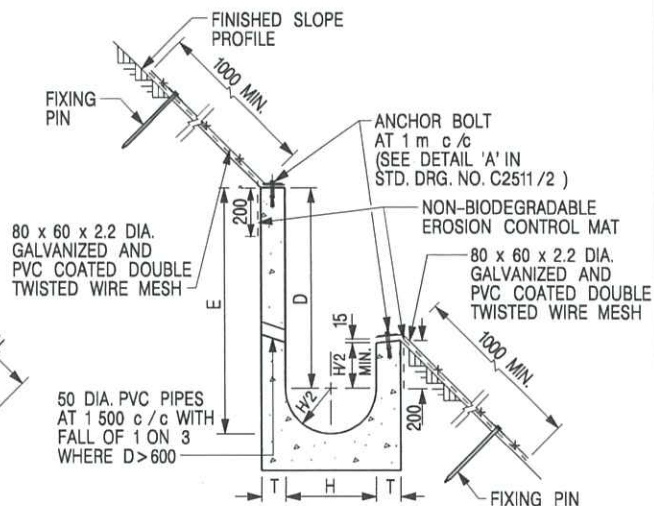
DRAWING NO.

DATE JAN 1991

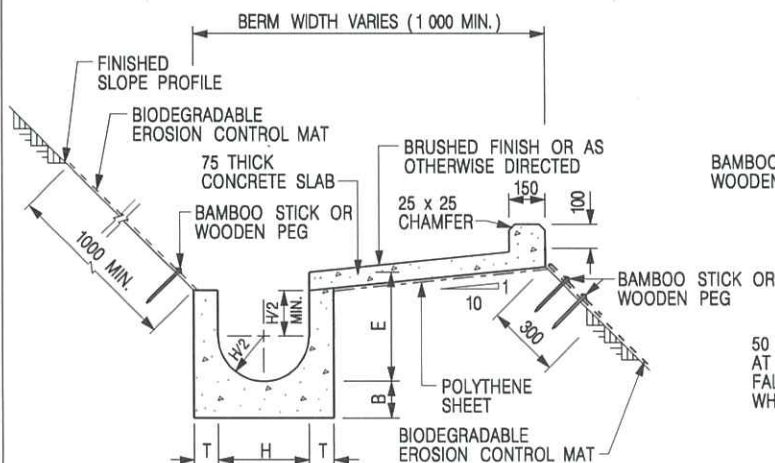
C2409I



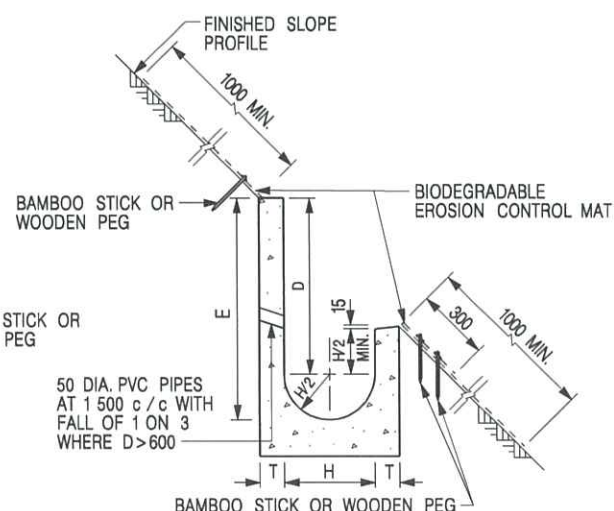
**U-CHANNELS CONSTRUCTED ON BERM
WITH NON-BIODEGRADABLE
EROSION CONTROL MAT**



**U-CHANNELS NOT CONSTRUCTED ON BERM
WITH NON-BIODEGRADABLE
EROSION CONTROL MAT**



**U-CHANNELS CONSTRUCTED ON BERM
WITH BIODEGRADABLE
EROSION CONTROL MAT**



**U-CHANNELS NOT CONSTRUCTED ON BERM
WITH BIODEGRADABLE
EROSION CONTROL MAT**

NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES.
- ALL CONCRETE TO BE GRADE 20 /20.
- CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
- SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
- JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
- FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
- FOR TYPICAL FIXING PIN DETAILS, SEE STD. DRG. NO. C2511/2.
- MINIMUM SIZE OF 25 x 50 x 300mm SHALL BE PROVIDED FOR WOODEN PEG.
- MINIMUM SIZE OF 10mm DIAMETER WITH 200mm LONG SHALL BE PROVIDED FOR BAMBOO STICK.
- THE FIXING DETAILS OF NON-BIODEGRADABLE AND BIODEGRADABLE EROSION CONTROL MATS ON EXISTING BERM SHALL REFER TO STD. DRG. NO. C2511/1.

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

REF.	REVISION	SIGNATURE	DATE
I	MINOR AMENDMENT.	Original Signed	07.2018
H	FIXING DETAILS OF BIODEGRADABLE EROSION CONTROL MAT ADDED.	Original Signed	12.2017
G	DIMENSION TABLE AMENDED.	Original Signed	01.2005
F	MINOR AMENDMENT.	Original Signed	01.2004
E	GENERAL REVISION.	Original Signed	12.2002
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENT.	Original Signed	3.94
A	MINOR AMENDMENT.	Original Signed	10.92

**DETAILS OF HALF-ROUND AND
U-CHANNELS (TYPE B - WITH
EROSION CONTROL MAT APRON)**



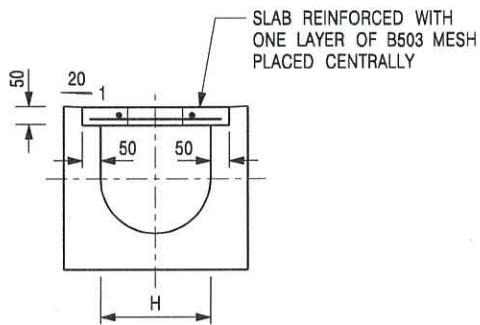
**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE DIAGRAMMATIC

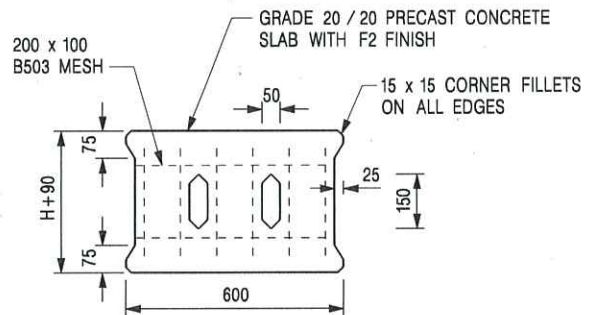
DRAWING NO.

DATE JAN 1991

C24101



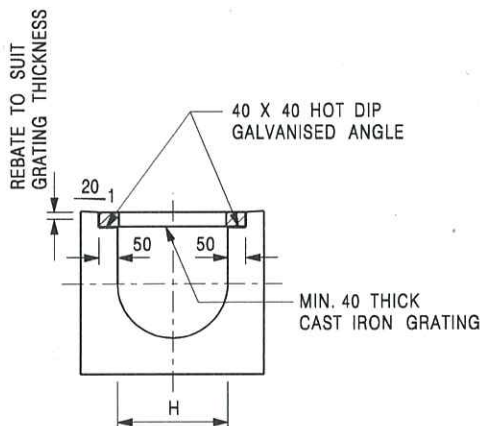
TYPICAL SECTION



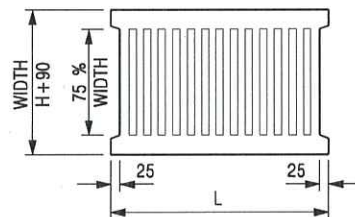
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H = NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

COVER SLAB AND CAST IRON
GRATING FOR CHANNELS



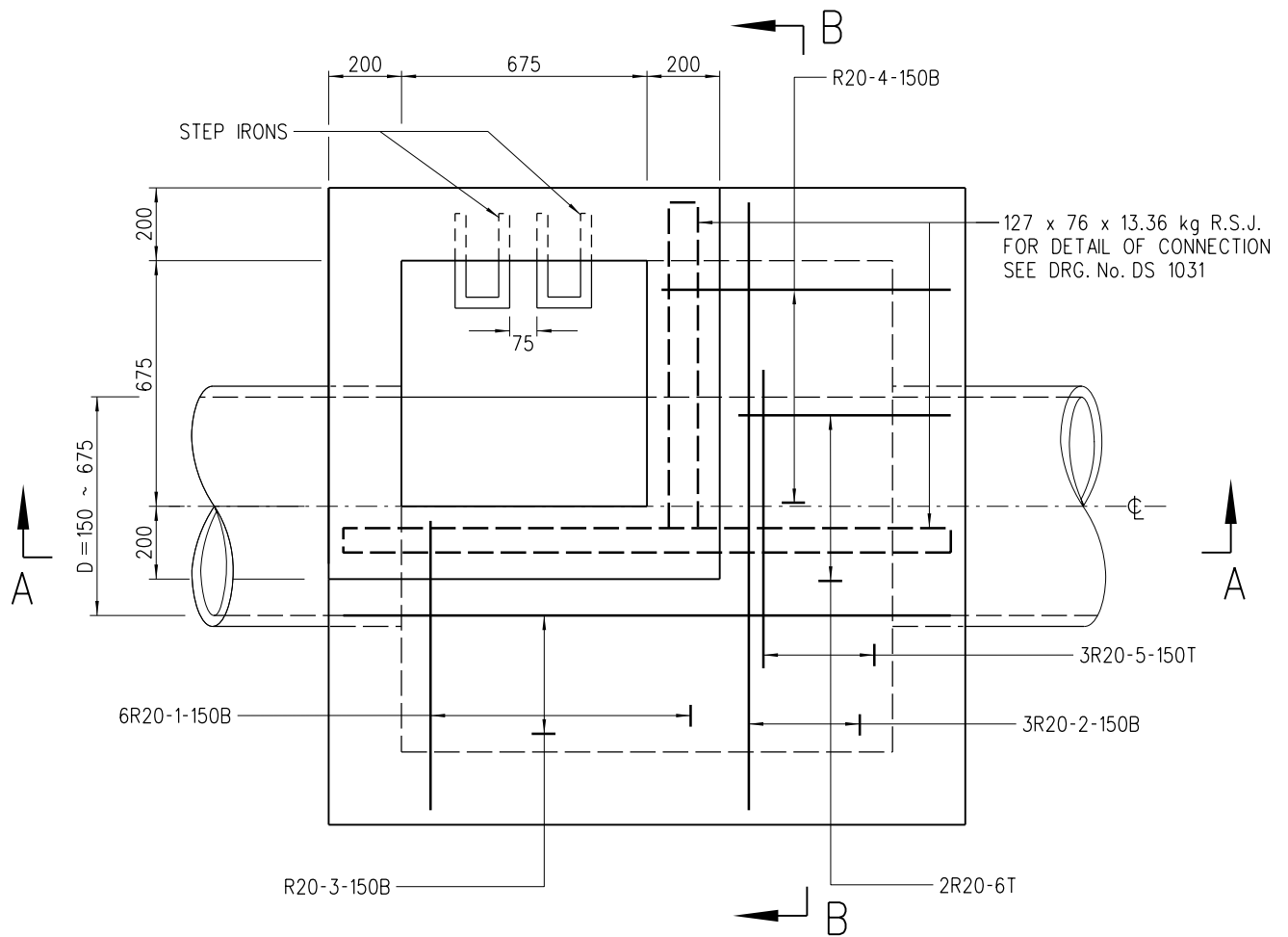
**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2412E



PLAN

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. NOTATION OF REINFORCEMENT : THE SEQUENCE OF DESCRIPTION OF IDENTIFICATION MARKS ON DRAWINGS FOR STEEL REINFORCING BARS FOR CONCRETE WORK IS AS FOLLOWS (NUMBER, TYPE, SIZE, MARK, SPACING, LOCATION OR COMMENT)
3. B DENOTES GRADE 500B RIBBED REINFORCEMENT.
4. R DENOTES GRADE 250 PLAIN REINFORCEMENT.
5. PIPE DIAMETER : 150 TO 675 mm
6. NORMAL RANGE OF DEPTH : 1 500 TO 3 000 mm (MEASURED FROM ROAD LEVEL TO LOWEST INVERT)
7. USED IN : STORMWATER DRAIN AND SEWER
8. JUNCTION : POSITION OF JUNCTION TO BE DETERMINED IN EACH INDIVIDUAL CASE. CHANNELS IMMEDIATELY UNDER ACCESS TO MANHOLE SHOULD BE AVOIDED.
9. TOP TREATMENT : SEE DRG. No. DS 1032
10. FOUNDATION : FOUNDATION OF MANHOLE VARIES WITH SITE CONDITION. THEREFORE, IT SHOULD BE DETERMINED ON SITE BY THE ENGINEER.
11. CONCRETE : GRADE 30/20
12. ALL BAR MARKS APPEARED HEREON ARE USED FOR REFERENCE IN THIS DRAWING ONLY.
13. MINIMUM COVER AT END OF BARS 40 mm
14. COVER AND FRAME NOT SHOWN ON PLAN FOR CLARITY.
15. RECESS WITH SQUARE STEEL ROD SHALL BE PROVIDED AT TOP OF MANHOLE CHAMBER FOR INSTALLING MONITORING DEVICE(S). DETAILS REFER TO DSD STANDARD DRAWING NO. DS 1099.

C	NOTE 15 ADDED	ORIGINAL SIGNED	2.8.2022
B	NOTE 11 DELETED NOTES 2, 3 & 4 ADDED	ORIGINAL SIGNED	29.4.2015
A	NOTE 11 REVISED	ORIGINAL SIGNED	24.11.2014
	NEW ISSUE	ORIGINAL SIGNED	15.8.2007
REV.	DESCRIPTION	SIGNATURE	DATE

STANDARD MANHOLE
TYPE E1

DRAINAGE SERVICES DEPARTMENT

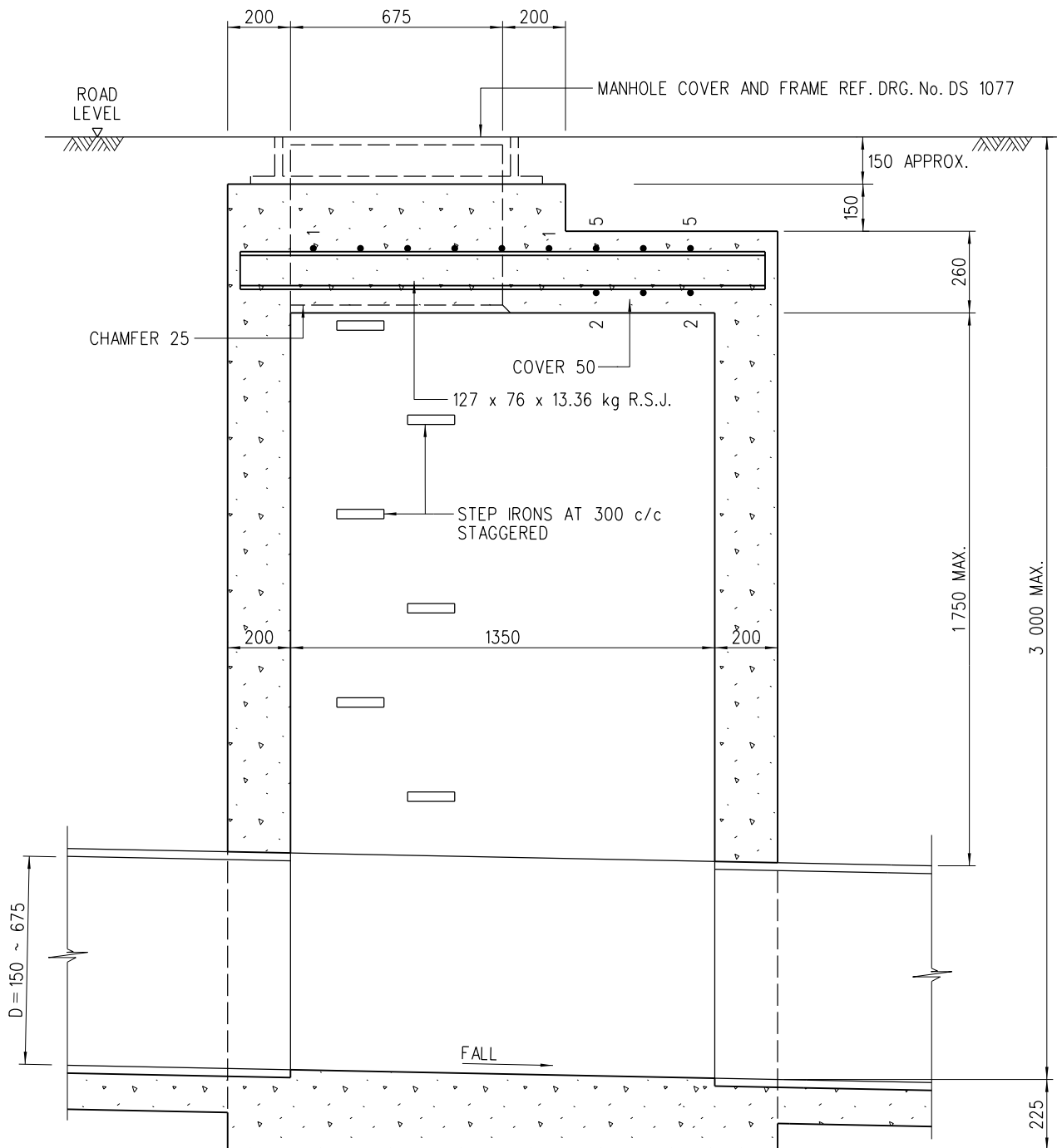
REFERENCE

DRAWING No.

SCALE

1 : 20

DS 1080C
(SHEET 1 OF 3)



SECTION A-A

BAR MARKS	SHAPE CODE ○
1 & 4	(99)
2, 3 & 6	(35)
5	(20)

C	NOTE 15 ADDED	ORIGINAL SIGNED	2.8.2022
B	NOTE 11 DELETED NOTES 2, 3 & 4 ADDED	ORIGINAL SIGNED	29.4.2015
A	NOTE 11 REVISED	ORIGINAL SIGNED	24.11.2014
	NEW ISSUE	ORIGINAL SIGNED	15.8.2007
REV.	DESCRIPTION	SIGNATURE	DATE

STANDARD MANHOLE
TYPE E1

DRAINAGE SERVICES DEPARTMENT

REFERENCE

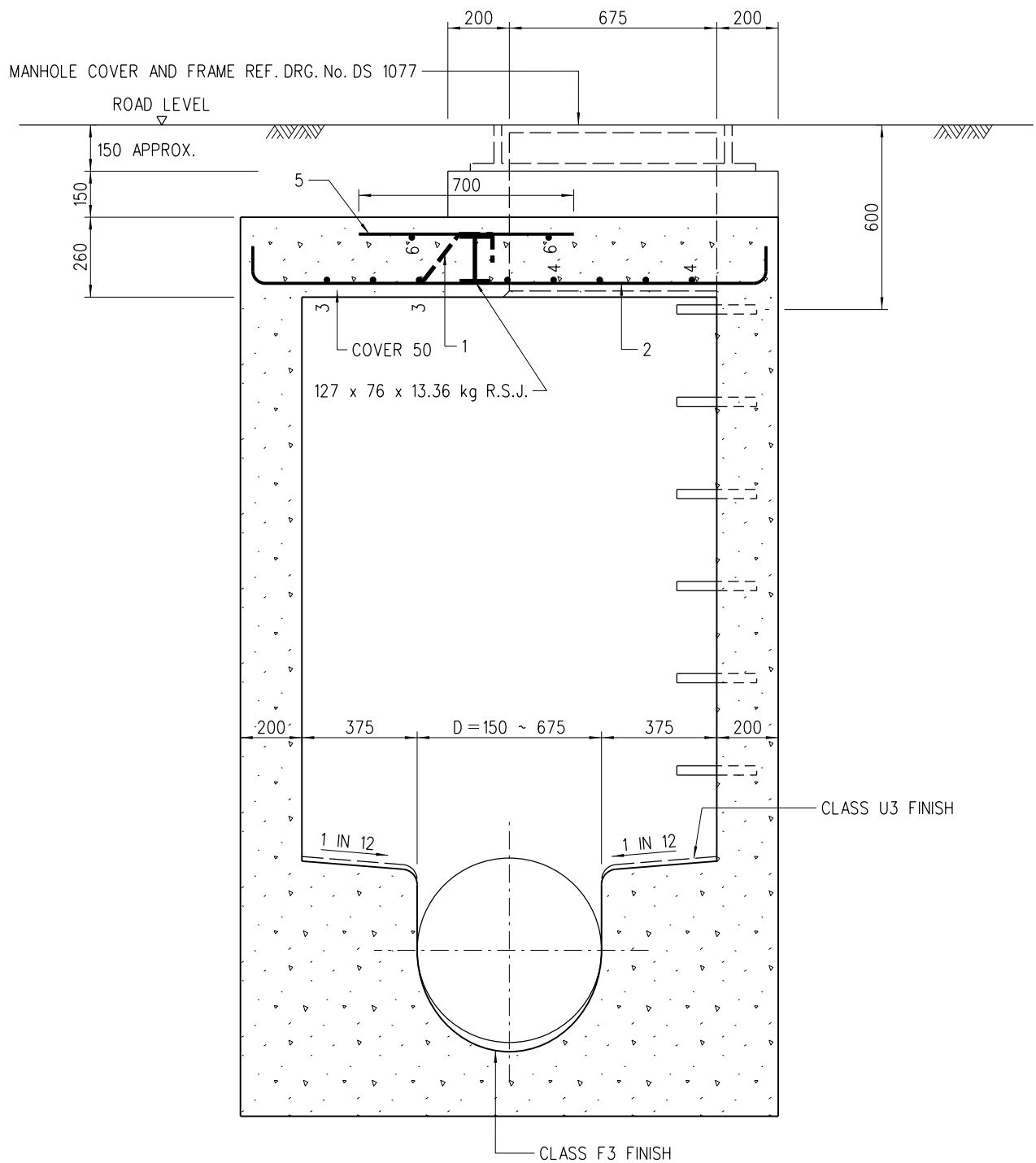
DRAWING No.

SCALE

1 : 20

DS 1080C

(SHEET 2 OF 3)



SECTION B-B

C	NOTE 15 ADDED	ORIGINAL SIGNED	2.8.2022
B	NOTE 11 DELETED NOTES 2, 3 & 4 ADDED	ORIGINAL SIGNED	29.4.2015
A	NOTE 11 REVISED	ORIGINAL SIGNED	24.11.2014
	NEW ISSUE	ORIGINAL SIGNED	15.8.2007
REV.	DESCRIPTION	SIGNATURE	DATE

STANDARD MANHOLE
TYPE E1

DRAINAGE SERVICES DEPARTMENT

REFERENCE

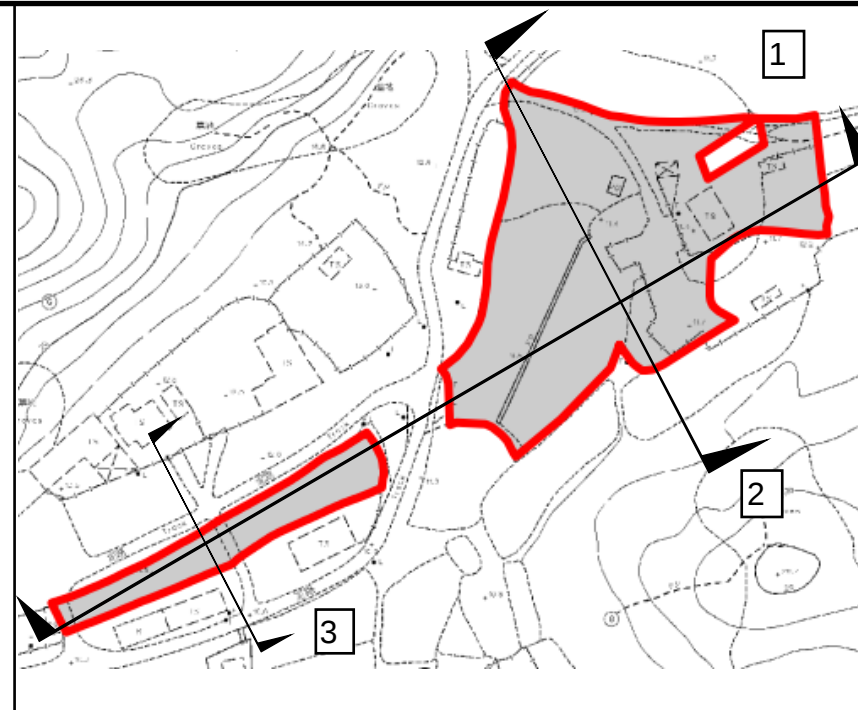
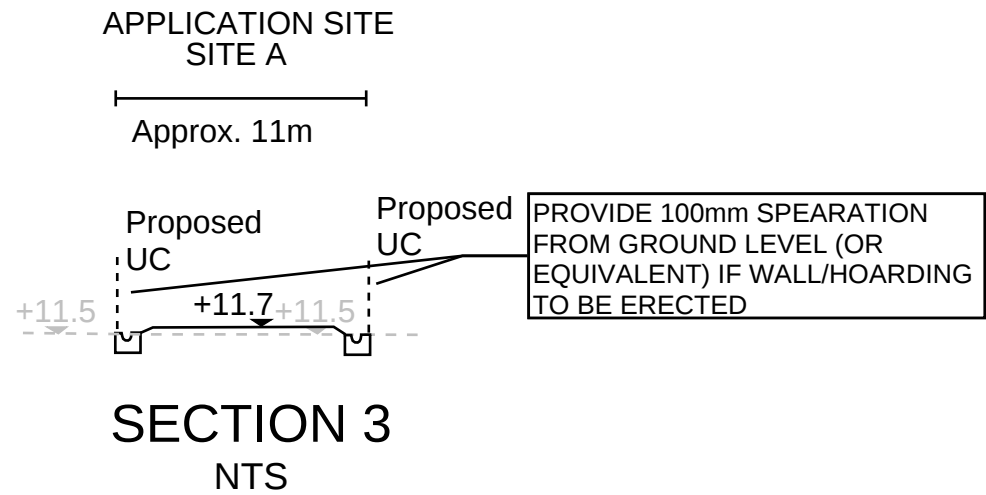
DRAWING No.

SCALE

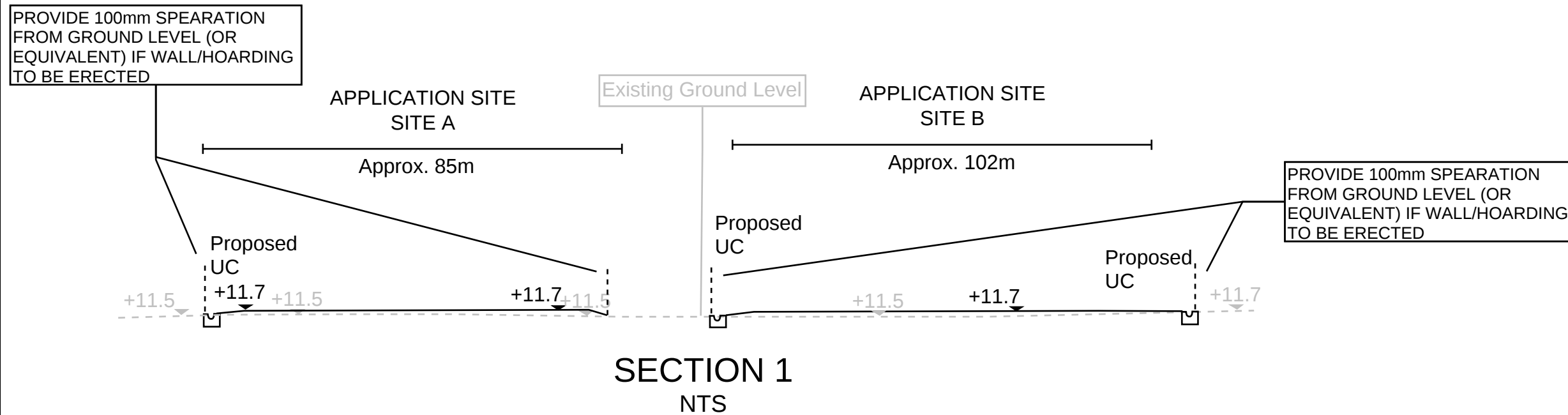
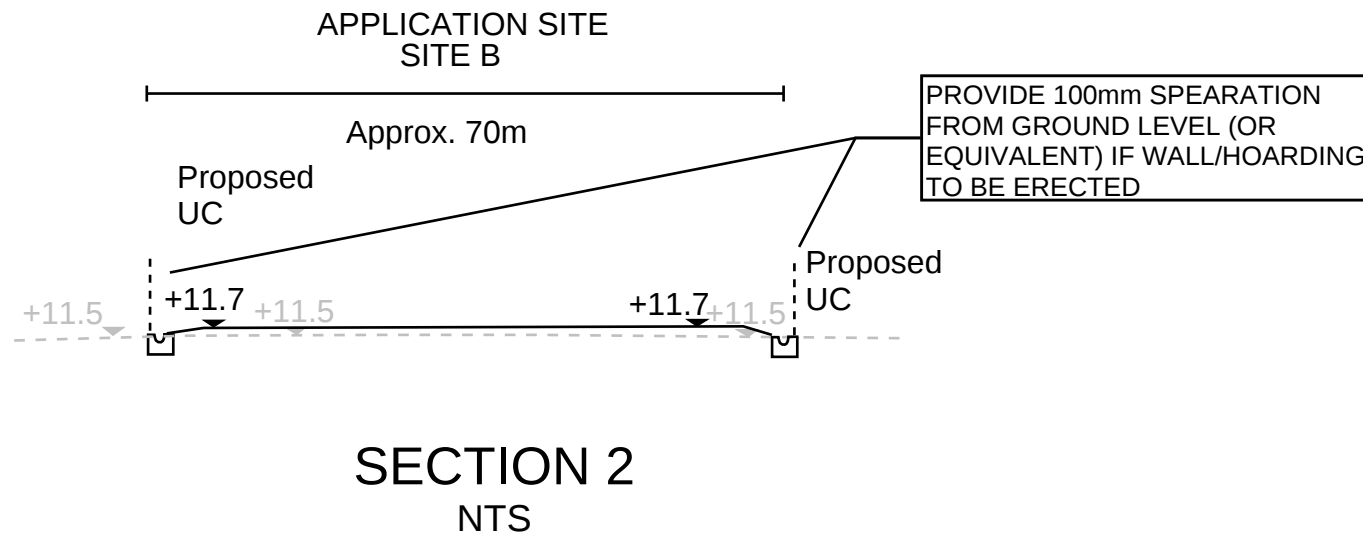
1 : 20

DS 1080C

(SHEET 3 OF 3)



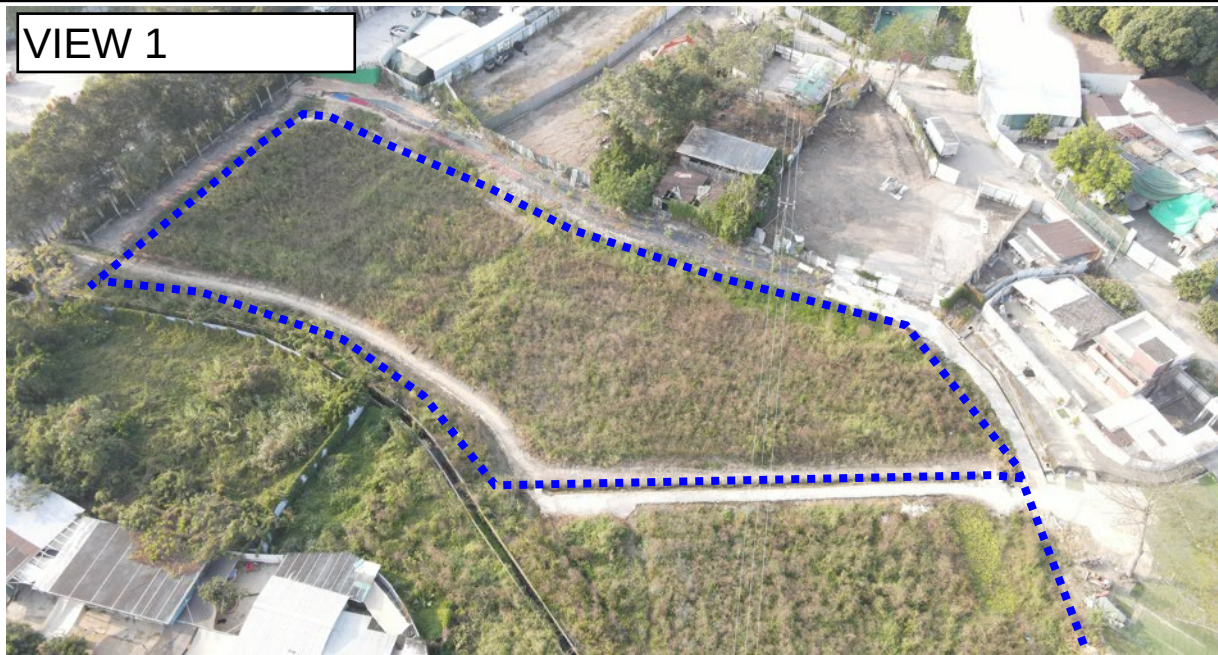
PROJECT:
Proposed Temporary Open Storage of Construction Material and Machinery with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land in "Agriculture" Zone, Various Lots in D.D. 82, Ta Kwu Ling, New Territories



SECTIONS

Appendix D

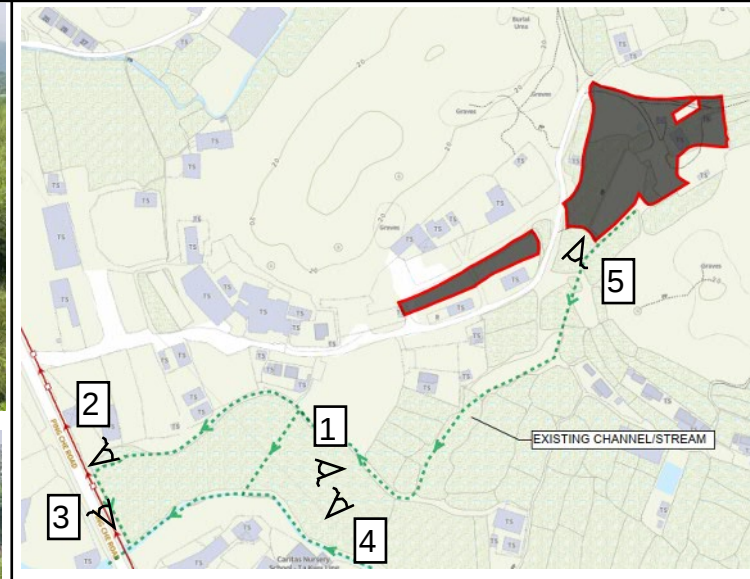
VIEW 1



VIEW 2

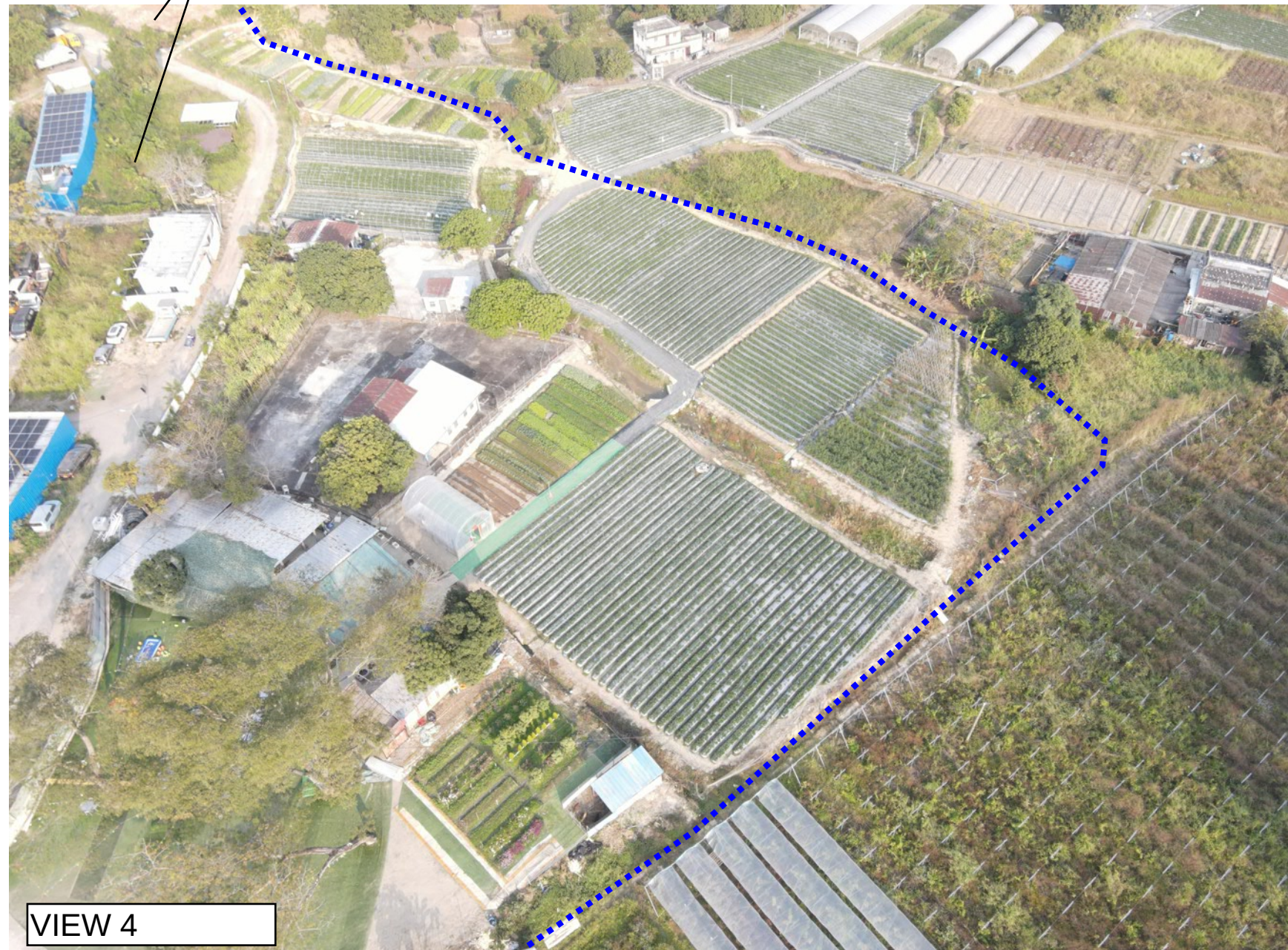


VIEW 3



PROJECT:
Proposed Temporary Open
Storage of Construction Material
and Machinery with Ancillary
Facilities for a Period of 3 Years
and Associated Filling of Land in
“Agriculture” Zone, Various Lots
in D.D. 82, Ta Kwu Ling, New
Territories

APPLICATION SITE



VIEW 4

VIEW 5



PHOTOS OF
SURROUNDINGS

Appendix E